



**NOTICE OF PUBLIC HEARING  
MINOR VARIANCE**

**Pursuant to Section 45(5) of *The Planning Act***

**FILE NUMBER:** MV-2022-03

**APPLICANT:** York Region District School Board

**PROPERTY:** 377 Hartwell Way  
PLAN 65M4433 BLK 241

**ZONING:** Institutional I (419)

**PURPOSE:** A Minor Variance Application has been submitted to facilitate four (4) driveways.

**BY-LAW  
REQUIREMENT:**

- 1) Section 5.5.4 (a) of Zoning Bylaw limits the maximum number of driveways to two (2).

**PROPOSAL:**

- a) The applicant is proposing four (4) driveways.

A Location Map and Site Plan illustrating the request are attached. This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

<b>DATE:</b>	<b>February 10, 2022</b>
<b>TIME:</b>	<b>7:00 p.m.</b>
<b>LOCATION:</b>	<b>Electronic Meeting (Please visit <a href="https://www.youtube.com/user/Townofaurora2012">https://www.youtube.com/user/Townofaurora2012</a> for live stream of the meeting)</b>

**NOTE:** As a result of COVID-19, Town Hall and other Town facilities have been CLOSED to the public. During this time, Committee of Adjustment meetings will be held electronically and may be viewed via live stream. Please visit the Town's website for further details.

You may express your views about this Application, for consideration by the Committee, in the following ways:

- i) **Participate in the electronic meeting as a live delegate.** Please send a delegation request to the Secretary–Treasurer, Brashanthe Manoharan, at [BManoharan@aurora.ca](mailto:BManoharan@aurora.ca) **no later than 4:30pm on February 8, 2022.** Once the request has been received, instructions will be provided on how to make your delegation during the electronic meeting.

The Delegation Request form is located on the Town website: <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Delegation-Request-Form---Fillable.pdf>

- ii) **Provide written comments.** Please email your comments to the Secretary – Treasurer, Brashanthe Manoharan, at [BManoharan@aurora.ca](mailto:BManoharan@aurora.ca) **no later than 12:00pm (noon) on February 10, 2022.** Alternatively, comments may be mailed to Town Hall at the address below. Please note, mailed comments must be received by the Town prior to the meeting in order to be considered by the Committee.

*Town of Aurora  
100 John West Way, Box 1000  
Aurora, ON L4G 6J1*

If you wish to be notified of the Decision with respect to this Application, you must complete the enclosed “Request for Decision” form. The form can also be found at <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Request-for-Decision---Fillable.pdf>. This form is to be emailed to [BManoharan@aurora.ca](mailto:BManoharan@aurora.ca) **no later than 4:30pm on February 11, 2022.**

**If you receive this notice as an owner of land containing seven or more residential units, please post this notice in a location that is visible to all property residents.**

Should you have any questions regarding this application, please contact Brashanthe Manoharan at [BManoharan@aurora.ca](mailto:BManoharan@aurora.ca) or at **905-727-3123 Ext. 4223.**

#### **Personal Information Collection Notice**

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990, Chapter c.P.13, as amended.* Your comments in respect to this Application will become part of the decision making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56, as amended, (the “Act”)* public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with *the Act.* Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 27<sup>TH</sup> DAY OF JANUARY 2022



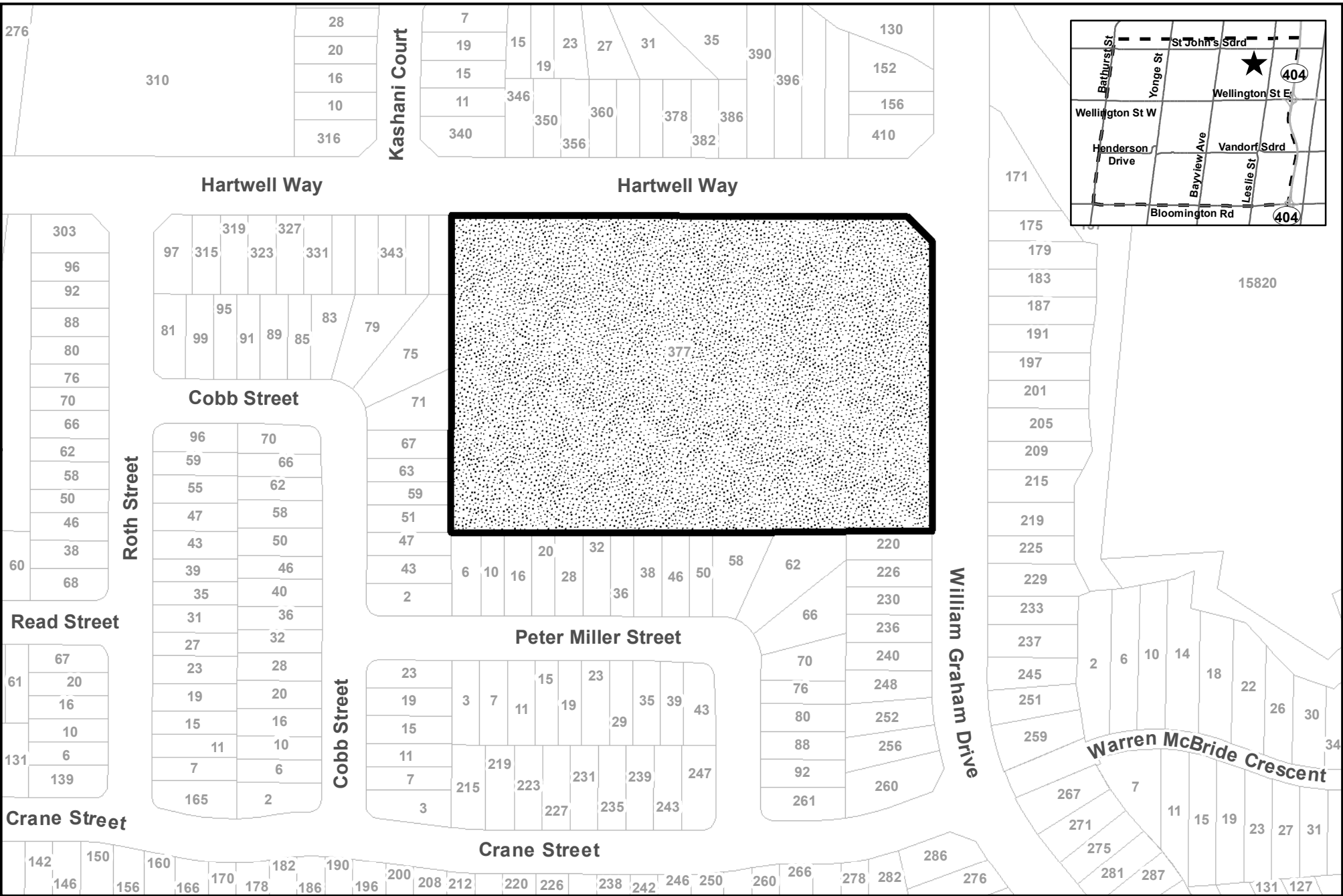
Brashanthe Manoharan  
Secretary-Treasurer  
Committee of Adjustment

**ATTACHMENTS**

Attachment 1 – Location Map  
Attachment 2 – Site Plan  
Attachment 3 – Request for Decision

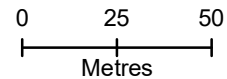
**Agenda packages will be available prior to the Hearing at:**

<https://www.aurora.ca/agendas>



**LOCATION MAP**  
**377 HARTWELL WAY**  
**FILE: MV-2022-03**  
**TOWN OF AURORA**  
**COMMITTEE OF ADJUSTMENT**

 **SUBJECT LANDS**



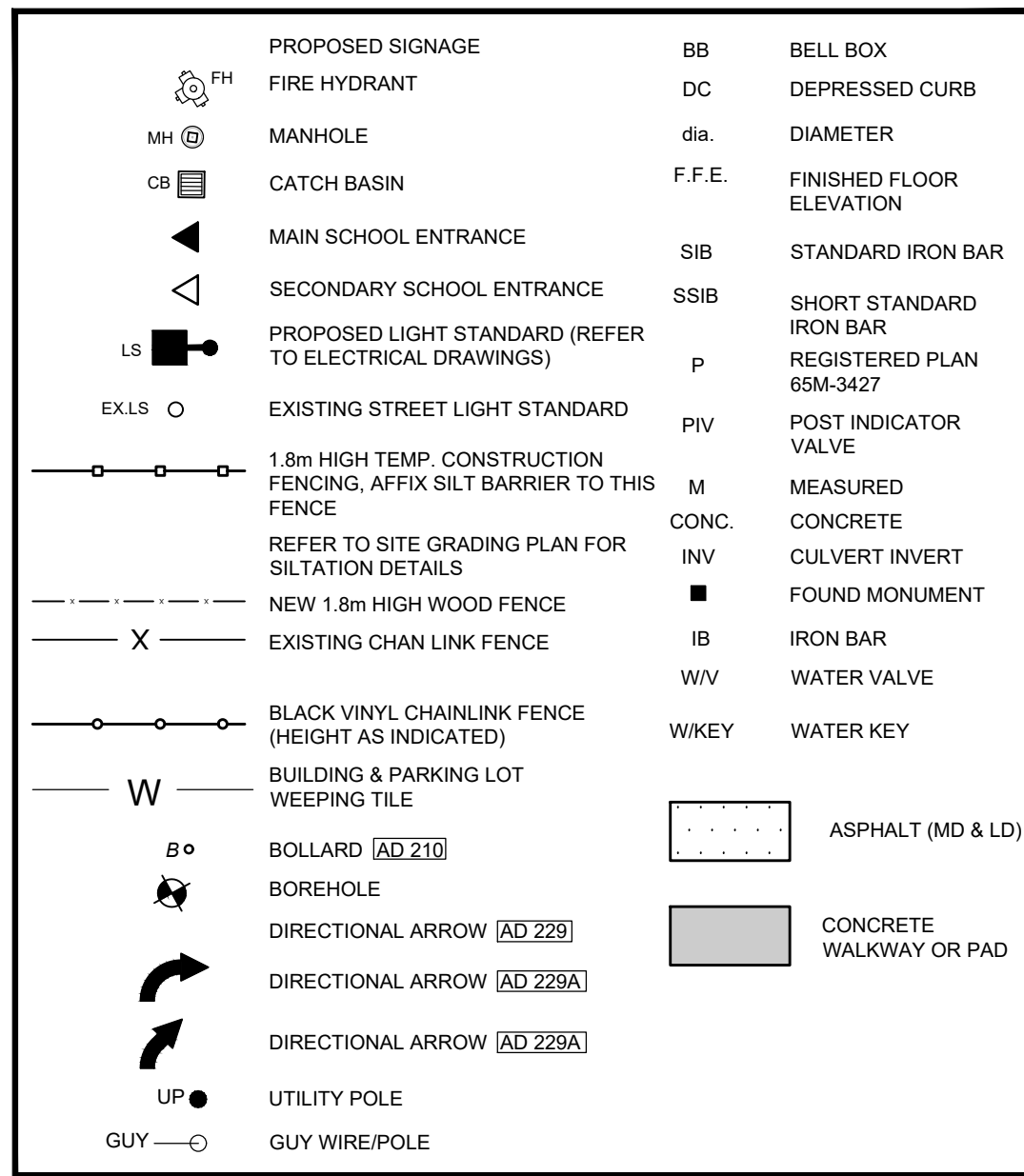
**SITE STATISTICS PROPOSED AURORA 2C**

REGULATION	PROVIDED
LEGAL DESCRIPTION:	-
ZONING: (419) - INSTITUTIONAL	-
LOT FRONTAGE	30.0 m MIN. 179.5 m
LOT AREA	460 sq.m. Minimum 23,764 sq.m.
LOT COVERAGE	35% Max 3,227/23,764 sq.m. 13.5%
FRONT YARD SETBACK	10m Minimum 20.8m
REAR YARD SETBACK	15m Minimum 94.4m
INTERIOR SIDE YARD SETBACK	1/2 height of bldg, no less than 4.5m Minimum 44.4m
EXTERIOR SIDE YARD SETBACK	10m Minimum 25.1m
BUILDING HEIGHT	15m Max 10.7m T/O PENTHOUSE
NUMBER OF STORES	2 STORES
BUILDING G.F.A. GROUND FLOOR SECOND FLOOR	NOT REGULATED 6,049 m <sup>2</sup> 3,501 m <sup>2</sup> 2,546 m <sup>2</sup>
LANDSCAPED STRIPS AREA	NOT REGULATED 10,049/23,764 m <sup>2</sup> 42.3%
LANDSCAPE BUFFER ABUTTING STREET LINE: ABUTTING RESIDENTIAL	3m EARTH BERM WITH 1.5m PLANTING STRIP OR 1.5m PLANTING STRIP WITH 1.5m MIN. OPAQUE FENCE 3m EARTH BERM WITH 1.5m PLANTING STRIP
PARKING:	
SIZE OF SPACE: WIDTH OF AISLE ABUTTING PARKING SCHOOL SPACES:	5.3m X 2.7m. MIN. 7.0m. MIN. 1.5 PER TEACHING CLASSROOM 27 X 15 = 41 1.5 X 6 PORTABLES = 9 1.5 X 10 FUTURE ADDITION = 15 74 SPACES REQ'D 91 SPACES
CHILD CARE SPACES:	+ 2.5/100 SQ M GFA 325 SQ M X 0.025 = 9 SPACES 74 SPACES REQ'D 91 SPACES
DESIGNATED SPACES: (DISABLED PARKING):	(13-100) 4% OF TOTAL = (0.04*92) = 4 RECD 5 SPACES
BICYCLE SPACES:	0.25 SPACES PER CLASSROOM = 25 X 4 = 11 SPACES 15 SPACES

TOWN OF AURORA  
PLANNING & DEVELOPMENT SERVICES  
BUILDING DIVISION  
PERMIT NO.:  
APPROVED BY: *Bill Jones*  
PRELIMINARY ZONING REVIEW  
DATE: Jan. 6, 2022

TOWN OF AURORA  
PLANNING AND DEVELOPMENT SERVICES  
Development Planning Division  
DATE: Oct. 4, 2021  
RECEIVED  
SUBMISSION No. 1

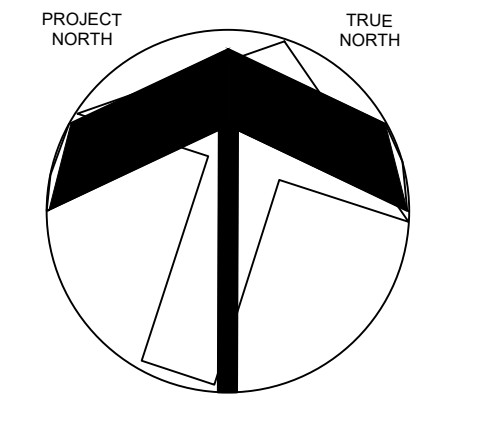
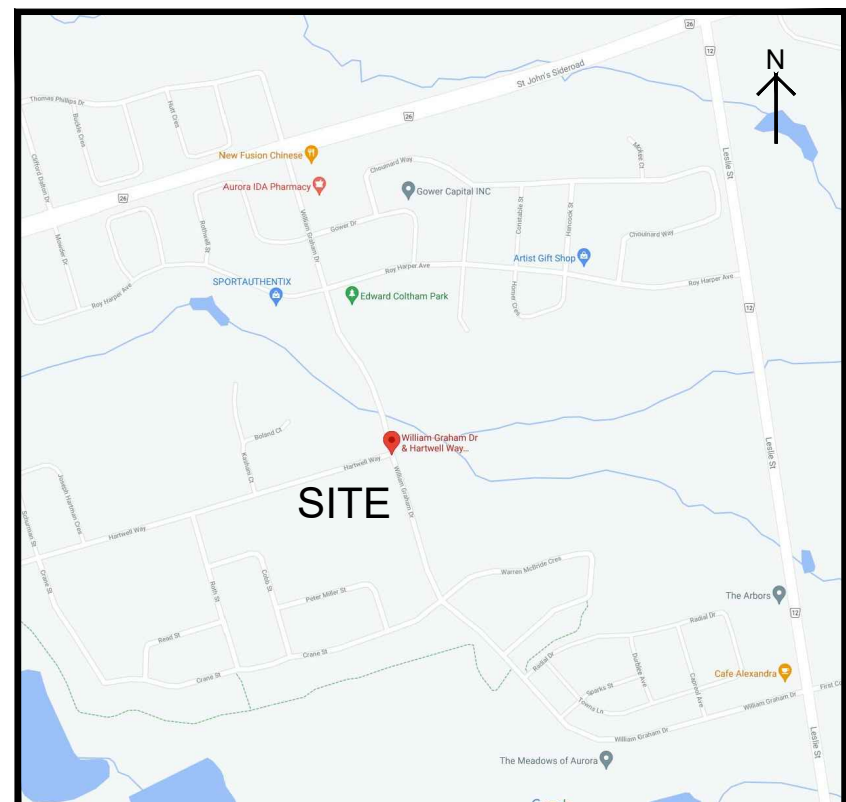
**LEGEND**



**GENERAL NOTES**

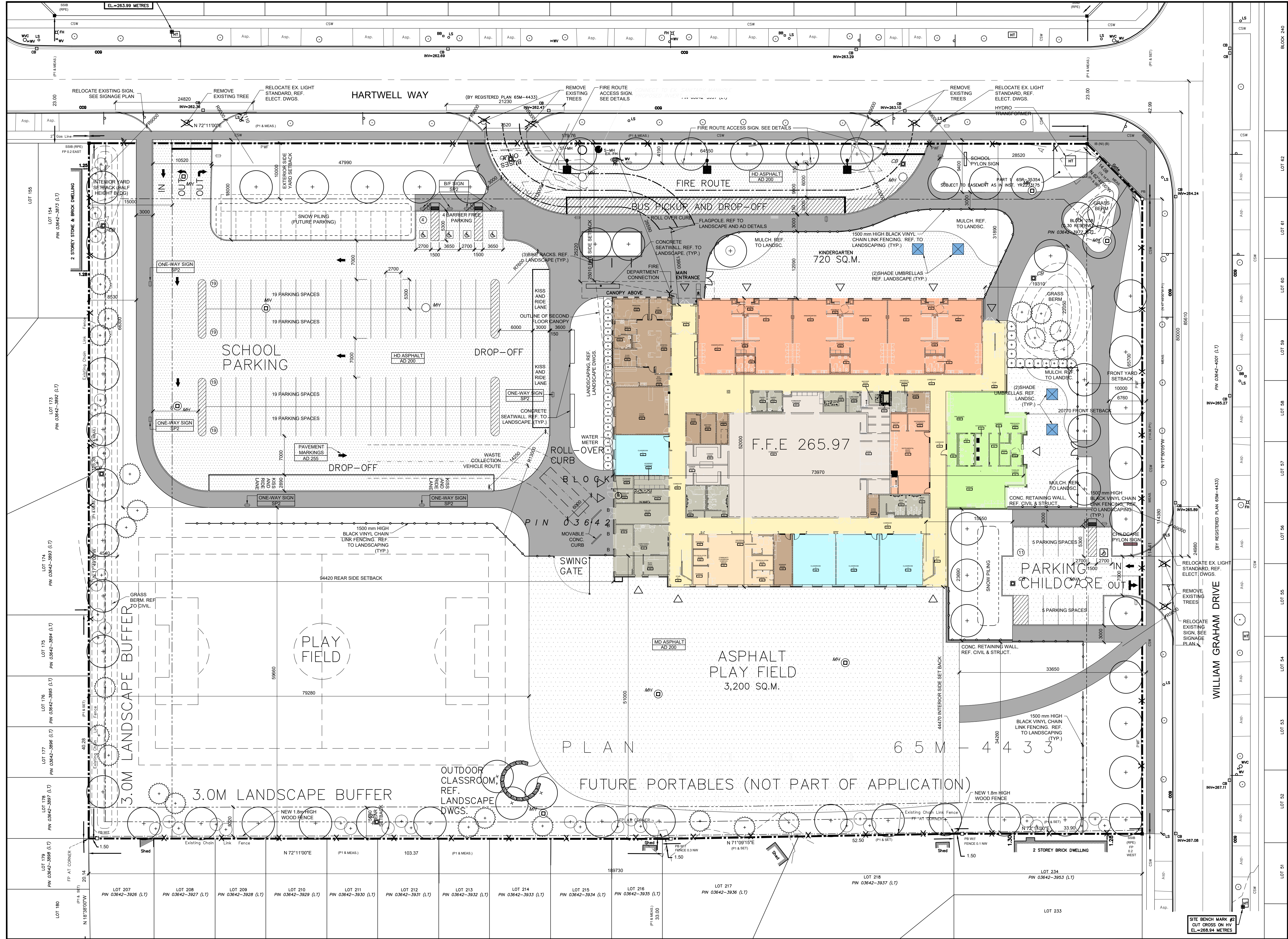
- The Town of Aurora requires that all working drawings submitted to the Building Department as part of an application for a Building Permit shall be certified by the Architect or Engineer as being in conformity with the Building Department Plans as approved by the Town of Aurora.
- All exterior lighting will be directed onto the site and will not infringe on adjacent properties.
- Grades will be met with 33% maximum slope at the property lines and within.
- Parking spaces reserved for the physically handicapped must be identified by appropriate signage, installed at the applicant's expense, in accordance with the designated specifications of Town Bylaws.
- Continuous 15cm high barrier type poured concrete curbing will be provided between asphalt and landscaped areas throughout the site, except at asphalt walkways and at asphalt play areas.
- There are no underground parking structures on this project.
- The structural design of any retaining wall over 0.6 metre in height or any retaining wall located on a property line is to be shown on the Site Grading Plan for this project and is to be approved by a Structural Engineer.
- Location of signs indicating fire routes shall be to the Central York Fire Services Department approval.
- All roads and driveways which are to be designated as the routes shall be so designated as per the Town's By-law, prior to occupancy of the building.
- Parking spaces shall be 2.7m x 5.3m min. hard surface area.
- Continuous concrete curbing typical through parking areas. All curbs to be 150mm" high barrier type poured concrete.
- Fire route access shall be constructed of hard surface material, such as asphalt, concrete or lockstone, conforming to municipal standards and have a change of gradient not more than 1 in 12.5 over a minimum distance of 15 m.
- All surface drainage shall be self contained and collected and discharged at a location to be approved prior to issuance of a building permit. Existing drainage pattern to be maintained.
- At the entrances to the site, the municipal curb and sidewalk will be continuous through the driveway. The driveway grade will be compatible with the existing sidewalk and a curb depression will be provided for each entrance, as part of this contract.
- The tops of any curbs bordering the driveways within the municipal boulevard will be flush with the municipal sidewalk and road curb.
- The portions of the driveways within the municipal boulevard will be paved as part of this contract.
- Sedimentation control measures as per the town standards are to be implemented during construction.
- All underground service materials and installations to be in accordance with the latest standards and codes.
- Road occupancy permit must be obtained by Contractor 48 hours prior to commencing any works within the municipal road allowance.
- Pedestrian walkways are to be minimum width of 1.2m. The width of a walkway abutting parking spaces is 1.8m minimum.
- All storm sewer materials and construction methods must correspond to current municipal standards and specifications.
- If building construction is interrupted and/or inactivity exceeds 30 days, stripdraped areas will be stabilized by seeding.
- All excess excavated material will be removed from site.
- Storm sewers (private sewers and/or within R.O.W.) and connections 200 diameter and larger to be concrete CUL-ES or concrete CUL with type "B" bedding throughout except at inlets, unless otherwise noted.
- SITE PLAN FILE NUMBER: SP
- All above ground utilities are to be offset a minimum distance of 1500mm from all proposed driveways.
- If any street light poles and/or fixtures on Hydro poles are to be relocated at work shall be completed by an approved Town of Aurora street lighting contractor.
- The applicant shall be responsible for all costs relating to the relocation of streetlights and the photometric analysis including regulation 22/04.
- While completing the new driveway entrance, the contractor shall ensure the existing underground street lighting system is located at least 1 metre below the road base of the new driveway. The Town's street lighting inspector shall be contacted prior to the installation of the driveway to review the site conditions with the contractor. If the street lighting system is required to be lowered, the contractor shall hire one of the Town's P-Qualified Electrical Contractors. This Contractor will be responsible to expose the existing conductors and shroud a 50MM PVC conduit around these conductors. This repositioning shall extend to 1 metre beyond the driveway surface and/or curb.
- Upon completion of the requested relocation(s) of street lighting infrastructure, the developer is to contact the Town of Aurora's Street Lighting Department and request for inspection to confirm Town Standards were adhered to and works are complete to the Town of Aurora's satisfaction.
- THE CONTRACTOR SHALL SUPPLY ALL LABOUR, EQUIPMENT AND MATERIALS NECESSARY FOR THE LAYOUT AND APPLICATION OF ANY INTERNAL PAVEMENT MARKINGS INCLUDING, BUT NOT LIMITED TO STOP BARS, CROSSWALK LINES, ARROWS, HATCHING, CENTRE LINES, LANE LINES AND EDGE LINES. PAVEMENT MARKINGS MUST BE APPLIED IN ACCORDANCE WITH OPSR 532, 1716, 1712, AND 1750 (RETRO REFLECTIVITY). WATERBORNE TRAFFIC PAINT IS TO BE USED (OPSR 1716).
- The contractor is required to supply all labour, materials and equipment for the installation of required signage, temporary or permanent, as illustrated in the site plan drawings and in accordance with the Ontario Traffic Manual and Town of Aurora Standard Drawings.

**KEY PLAN N.T.S.**



**OBC MATRIX**

PROJECT DESCRIPTION: 2 STOREY PUBLIC SCHOOL	NEW	ADDITION	PART 3	PART 11
CHANGE OF USE: ALTERATION				
PROJECT NAME & ADDRESS: AURORA 2C PUBLIC SCHOOL, CORNER OF WILLIAM GRAHAM DR. & HARTWELL WAY, AURORA, ON				
MAJOR OCCUPANCY(S): GROUP A DIVISION 2				
BUILDING AREA (SQ.M.): EXIST. N/A NEW 3,501 TOTAL 3,501				
GROSS AREA (SQ.M.): EXIST. N/A NEW 6,049 TOTAL 6,049				
NO. OF STOREYS ABOVE GRADE: 2 BELOW GRADE: 0				
NUMBER OF STREETS/ACCESS ROUTES: 1				
BUILDING CLASSIFICATION: 3.2.2.4 Group A, Division 2, up to 6 storeys, Any Area, Sprinklered				
SPRINKLER SYSTEM PROPOSED: ENTIRE BUILDING BASEMENT ONLY IN LIEU OF ROOF RATING NOT REQUIRED				
STANDPIPE REQUIRED: YES NO				
FIRE ALARM REQUIRED: YES NO				
WATER SERVICE/SUPPLY IS ADEQUATE: YES NO				
HIGH BUILDING: YES NO				
PERMITTED CONSTRUCTION: COMBUSTIBLE NON COMBUSTIBLE BOTH				
ACTUAL CONSTRUCTION: COMBUSTIBLE NON COMBUSTIBLE BOTH				
MEZZANINE(S) AREA (SQ.M.): N/A				
OCCUPANT LOAD BASED ON: sq.m./PERSON DESIGN OF BUILDING SEE ATTACHED CHARTS FOR OCCUPANCY LOAD PERSONS				
BASEMENT OCCUPANCY: N/A LOAD PERSONS DETAILED CALCS.				
1ST FLOOR OCCUPANCY: A2 LOAD PERSONS				
2ND FLOOR OCCUPANCY: A2 LOAD PERSONS				
BARRIER-FREE DESIGN: YES NO				
HAZARDOUS SUBSTANCES: YES NO				
REQUIRED FIRE RESISTANCE RATING (FRR)				
FLOOR(S) 1 HOURS 2ND FLOOR IS 200mm THICK PRECAST CONCRETE SLAB WITH 50mm OF CONCRETE TOPPING				
ROOF 0 HOURS OBC 3.2.2.17 SPRINKLERS IN LIEU OF ROOF RATING				
MEZZANINE N/A HOURS N/A				
FRR OF SUPPORTING MEMBERS LISTED DESIGN NO. OR DESCRIPTION (SG-2)				
FLOOR(S) 1 HOURS UL DESIGN NO. 957; spray fireproofing to all exposed steel members supporting 2nd floor. All loadbearing walls are 140 or 190 non-combustible masonry block and have a fire-resistance rating of at least 1 hour.				
ROOF 0 HOURS N/A				
MEZZANINE N/A HOURS N/A				
SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS (NON-COMBUSTIBLE)				
WALL AREA OF EBF (sq.m.) L.D. (m) LH OR HL PERMITTED MAX. % OF OPENINGS PROPOSED % OF OPENINGS				
NORTH building this wall exceeds maximum limiting distance from the property line if a sprinklered building				
SOUTH building this wall exceeds maximum limiting distance from the property line if a sprinklered building				
EAST building this wall exceeds maximum limiting distance from the property line if a sprinklered building				
WEST building this wall exceeds maximum limiting distance from the property line if a sprinklered building				



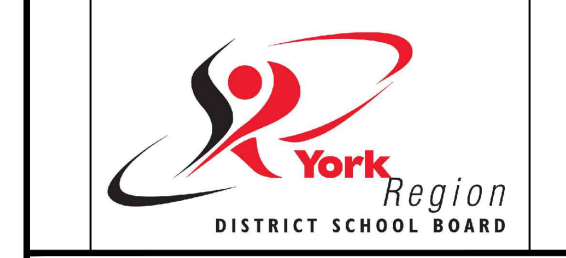
TOWN OF AURORA  
PLANNING AND DEVELOPMENT SERVICES  
Development Planning Division  
DATE: Jan. 11, 2022  
RECEIVED  
SUBMISSION No. 1

1 ISSUED FOR SITE PLAN APPROVAL 21 09 20  
NO ISSUED DATE



AURORA 2C PUBLIC SCHOOL  
CORNER OF WILLIAM GRAHAM DR. & HARTWELL WAY  
AURORA, ON

LEGAL DESCRIPTION  
Block 241  
Registered Plan 65M-4433



SITE PLAN FILE NO.  
SITE PLAN

HOSSACK & ASSOCIATES ARCHITECTS

SCALE	PROJECT
DATE	21103
SEPTEMBER 2021	DRAWING
DRAWN	BMKB
CHECKED	BMPL
PRINT DATE	SP1
REVIT FILE	T:3110402AES



# TOWN OF AURORA COMMITTEE OF ADJUSTMENT REQUEST FOR DECISION

Meeting Date: \_\_\_\_\_ Agenda Item Number: \_\_\_\_\_

Application Name: \_\_\_\_\_

File Number(s): \_\_\_\_\_

## IMPORTANT NOTICE

You must complete this form and submit it to the Secretary-Treasurer to ensure your name and address are accurately noted for future notification.

This meeting is your opportunity to voice any opinions or comments you may have regarding an Application for approval of a Minor Variance/Permission or Consent. Under the *Planning Act*, for a Minor Variance and Permission, Section 45(10) states that the Secretary-Treasurer shall send one copy of the decision, to each person or public body who appeared in person or by counsel at the hearing AND who filed with the Secretary-Treasurer a written request for Notice of the Decision. For Consent, Section 53(17) states that if the Committee gives or refuses to give provisional Consent, the Committee shall ensure written Notice of the Decision is given to each person or public body that made a written request to be notified of decision or conditions.

**NOTE:** Due to COVID-19, all Request for Decisions shall be emailed to Brashanthe Manoharan, Secretary-Treasurer, at [bmanoharan@aurora.ca](mailto:bmanoharan@aurora.ca).

**Please print clearly and provide information requested below.**

Name: \_\_\_\_\_  
(MR./MRS./MS) (First) (Last)

Address: \_\_\_\_\_  
\_\_\_\_\_

Municipality: \_\_\_\_\_ Postal Code: \_\_\_\_\_  
(Must Be Provided)

Telephone: Residence \_\_\_\_\_ E-Mail: \_\_\_\_\_  
Business \_\_\_\_\_ E-Mail: \_\_\_\_\_

**Notice of Decision and/or future consideration of this Committee of Adjustment Application will be provided by E-Mail.**

**NOTE: Notice of this meeting was given by mail to all owners within 120 metres (400 feet) of the subject lands**

Personal information on this form is collected under the legal authority of the *municipal act*, R.S.O.1990, and C.M.45, as amended. This information will be used for the purposes of sending correspondence relating to matters before council. The information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to section 27 of the *municipal freedom of information and protection of privacy act*, R.S.O. 1990, C.M.56, as amended. Questions about this collection should be directed to the town clerk, town of aurora, 100 john west way, box 1000, aurora, Ontario, l4g 6j1, telephone: 905-727-3123 ext. 4771