



**NOTICE OF PUBLIC HEARING
MINOR VARIANCE**

Pursuant to Section 45(5) of *The Planning Act*

FILE NUMBER: MV-2022-05

APPLICANT: Tarighat

PROPERTY: 6 Bailey Crescent
PLAN 514 LOT 193

ZONING: R3-SN(497) (*Detached Third Density Residential Exception Zone*)

PURPOSE: A Minor Variance Application has been submitted to facilitate a second storey addition.

**BY-LAW
REQUIREMENT:**

- 1) Section 24.497.3.2 of the Zoning By-law requires a minimum interior side yard setback of 3.0 metres beyond the main rear wall of the adjacent dwelling.
- 2) Section 7.2 of the Zoning By-law requires a minimum interior side yard setback of 1.2 metres.

PROPOSAL:

- a) The applicant is proposing a second storey addition, which is 2.3 metres to the interior side property line.
- b) The applicant is proposing a side yard deck, which is 0.8 metres to the interior side property line.

A Location Map and Site Plan illustrating the request are attached. This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

DATE:	March 10, 2022
TIME:	7:00 p.m.
LOCATION:	Electronic Meeting (Please visit https://www.youtube.com/user/Townofaurora2012 for live stream of the meeting)

NOTE: As a result of COVID-19, Town Hall and other Town facilities have been CLOSED to the public. During this time, Committee of Adjustment meetings will be held electronically and may be viewed via live stream. Please visit the Town’s website for further details.

You may express your views about this Application, for consideration by the Committee, in the following ways:

- i) **Participate in the electronic meeting as a live delegate.** Please send a delegation request to the Secretary–Treasurer, Brashanthe Manoharan, at BManoharan@aurora.ca **no later than 4:30pm on March 8, 2022.** Once the request has been received, instructions will be provided on how to make your delegation during the electronic meeting.

The Delegation Request form is located on the Town website: <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Delegation-Request-Form--Fillable.pdf>

- ii) **Provide written comments.** Please email your comments to the Secretary – Treasurer, Brashanthe Manoharan, at BManoharan@aurora.ca **no later than 12:00pm (noon) on March 10, 2022.** Alternatively, comments may be mailed to Town Hall at the address below. Please note, mailed comments must be received by the Town prior to the meeting in order to be considered by the Committee.

*Town of Aurora
100 John West Way, Box 1000
Aurora, ON L4G 6J1*

If you wish to be notified of the Decision with respect to this Application, you must complete the enclosed “Request for Decision” form. The form can also be found at <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Request-for-Decision--Fillable.pdf>. This form is to be emailed to BManoharan@aurora.ca **no later than 4:30pm on March 11, 2022.**

If you receive this notice as an owner of land containing seven or more residential units, please post this notice in a location that is visible to all property residents.

Should you have any questions regarding this application, please contact Brashanthe Manoharan at BManoharan@aurora.ca or at **905-727-3123 Ext. 4223.**

Personal Information Collection Notice

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990, Chapter c.P.13, as amended.* Your comments in respect to this Application will become part of the decision making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56, as amended, (the “Act”)* public feedback to planning

proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with *the Act*. Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 28TH DAY OF FEBRUARY 2022



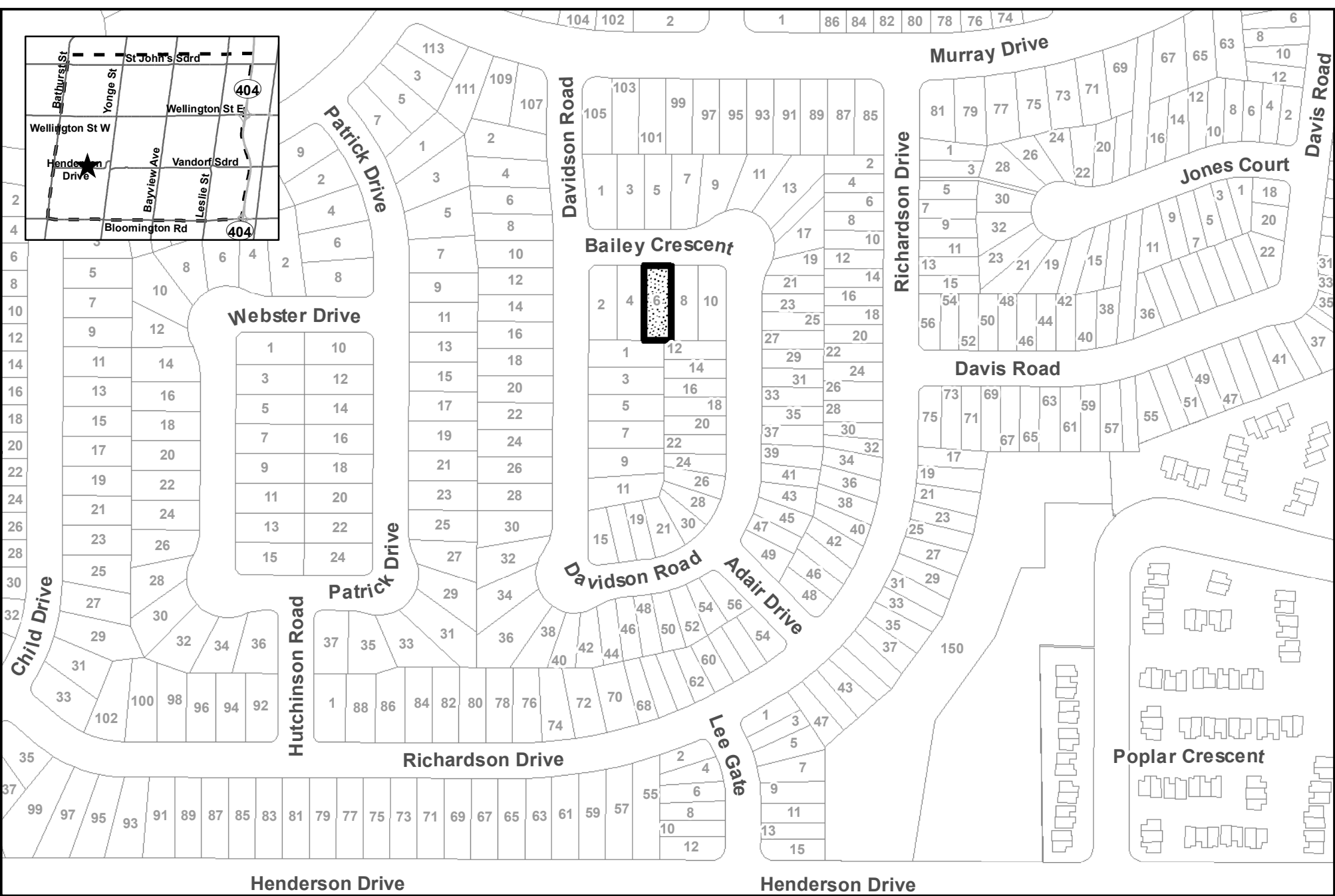
Brashanthe Manoharan
Secretary-Treasurer
Committee of Adjustment

ATTACHMENTS

Attachment 1 – Location Map
Attachment 2 – Site Plan
Attachment 3 – Request for Decision

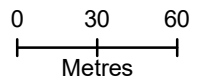
Agenda packages will be available prior to the Hearing at:

<https://www.aurora.ca/agendas>



LOCATION MAP
6 BAILEY CRESCENT
 FILE: MV-2022-05
 TOWN OF AURORA
 COMMITTEE OF ADJUSTMENT

 **SUBJECT LANDS**



ALL RIGHTS ASSOCIATED WITH THIS DOCUMENT ARE RESERVED FOR FAR ARCHITECT INC.

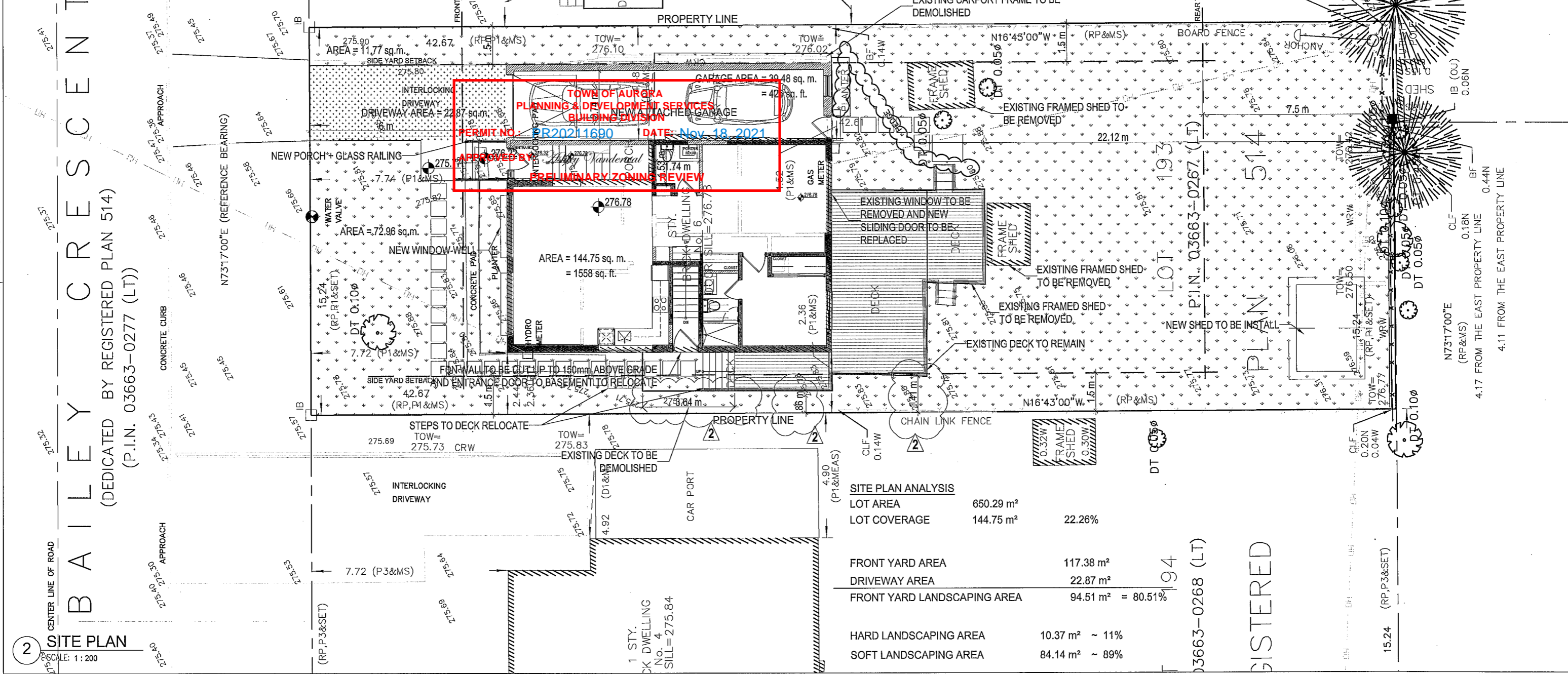
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Last saved by: FARHAD

PROJECT INFORMATION				
DATE	PROJECT NAME	PROJECT ADDRESS		
2021-11-02	SINGLE FAMILY DWELLING	6 BAILEY CRES. AURORA, ON L4G 2B3		
LOT NO.	REGISTERED PLAN NO.	CITY	ZONE	BY-LAW NO.
193	514	AURORA	R3-SN(497)	6069-17

SITEPLAN ANALYSIS				
SETBACKS	ALLOWED	PROPOSED		
FRONT YARD SETBACK	6.00 m	19.63 ft	7.72 m	25.33 ft
SIDE YARD SETBACK (EAST)	1.50 m	4.92 ft	1.50 m	4.92 ft
SIDE YARD SETBACK (WEST)	1.50 m	4.92 ft	2.36 m	7.74 ft
REAR YARD SETBACK	7.50 m	24.61 ft	22.12 m	72.57 ft
BUILDING HEIGHT	10.00 m	32.81 ft	7.99 m	26.21 ft
BUILDING LENGTH	0.00 m	0.00 ft	12.78 m	41.93 ft
BUILDING DEPTH	0.00 m	0.00 ft	20.53 m	67.42 ft

AREA CALCULATIONS					
LOT AREA	650.29 m ²	7000 ft ²			
MAIN FLOOR AREA	144.75 m ²	1558 ft ²			
SECOND FLOOR AREA	103.47 m ²	1114 ft ²			
TOTAL GROSS FLOOR AREA (GFS)	248.22 m ²	2672 ft ²			
GARAGE AREA	39.48 m ²	425 ft ²			
			ALLOWED		PROPOSED
LOT COVERAGE	35.0%	227.60 m ²	2450 ft ²	22.3%	144.75 m ²
FLOOR SPACE INDEX (FSI)	60.0%	390.17 m ²	4200 ft ²	32.1%	208.74 m ²



SITE PLAN ANALYSIS	
LOT AREA	650.29 m ²
LOT COVERAGE	144.75 m ² 22.26%
FRONT YARD AREA	117.38 m ²
DRIVEWAY AREA	22.87 m ²
FRONT YARD LANDSCAPING AREA	94.51 m ² = 80.51%
HARD LANDSCAPING AREA	10.37 m ² ~ 11%
SOFT LANDSCAPING AREA	84.14 m ² ~ 89%

2 SITE PLAN
SCALE: 1:200

FAR ARCHITECT
77 GARDEN AVE.
RICHMOND HILL, ON, L4C 6L6
T.(416) 900-3566 F.(416) 900-3577
www.fararchitect.com

ONTARIO ASSOCIATION OF ARCHITECTS
FARHAD ABDOLVAHABI
LICENCE 7346

TOWN OF AURORA PLANNING & DEVELOPMENT SERVICES BUILDING DIVISION
PERMIT NO.: PR20211690 DATE: Nov 18, 2021
APPROVED BY: Ashley Vandervel
PRELIMINARY ZONING REVIEW

SUBMISSION No. 1	
RECEIVED	2021-11-18
ISSUED FOR PPR /SPA	2021-11-02

NORTH:

PROJECT NAME: Extension & Interior Alteration of an existing One-storey residential at 6 Bailey Cres., Aurora, ON L4G 2B3

DRAWING TITLE: SITE PLAN & ZONING INFO.

SCALE: 1:200

SHEET NO: 4 of 17

DRAWING NO: A1-01

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File address: D:\Far Architect Inc.\Projects\Design\2021\21034 6 Bailey Cres. Aurora ON L4G 2B3\06 -Sheet\A4-01.dwg
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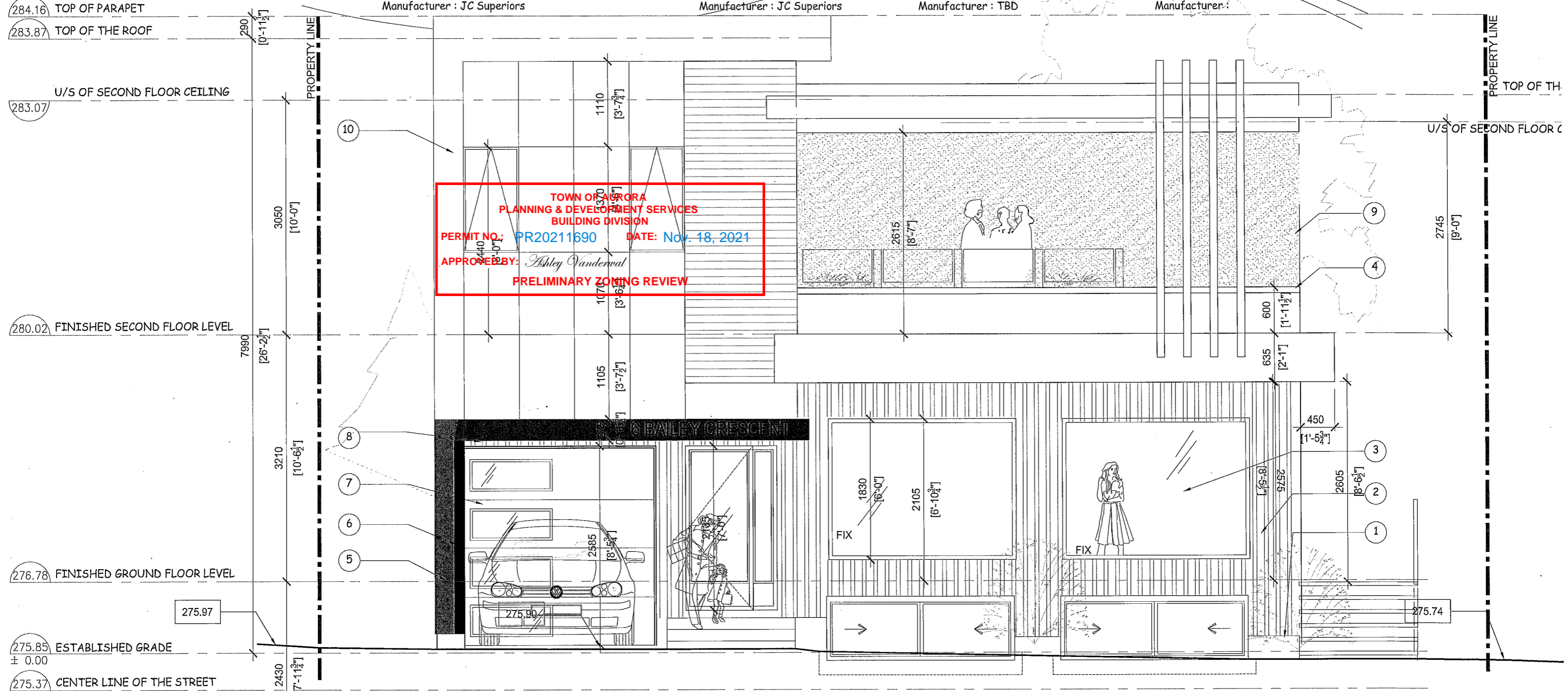
- 1 - CONCRETE
Color : grey
- 2 - COMPOSITE SIDING
Color : Castle Stone
Profile: Board & Batten
Manufacturer : Celec Cellular (Royal Building Products)

- 3 - WINDOWS
Color : White
Profile: Vinyl
Manufacturer : Simpson Windows & Doors (or similar)
- 4 - ALUMINUM FLASHING
Color : White
Profile: TBD
Manufacturer : JC Superiors

- 5 - ALUMINUM CLADDING
Color : Dark Grey
Profile: TBD
Manufacturer : JC Superiors
- 6 - ALUMINUM CLADDING OR STONE
Color : Black
Profile: TBD
Manufacturer : JC Superiors

- 7 - OVERHEAD GARAGE DOOR
Color : White Frame sectional
Profile: Glass
Manufacturer : Max overhead doors
- 8 - LINEAR LED LIGHT
Color : Warm white
Profile: Linear
Manufacturer : TBD

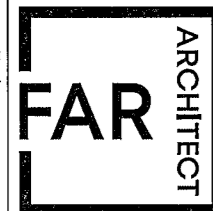
- 9 - EIFS
Color : Everest
Profile: N/A
Manufacturer : Dryvit
- 10 - METAL PANEL
Color : TBD
Profile: TBD
Manufacturer :



1 NORTH ELEVATION (FRONT VIEW)

SCALE: 1 : 50
 0 50cm 1m
 Scale: 1cm = 50cm

Last saved by: F_ABD



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**TOWN OF AURORA
 PLANNING & DEVELOPMENT SERVICES
 BUILDING DIVISION**

PERMIT NO.: PR20211690 DATE: Nov. 18, 2021

APPROVED BY: *Ashley Vandervel*

PRELIMINARY ZONING REVIEW

1	ISSUED FOR PPR /SPA
REV	DESCRIPTION:

SUBMISSION No. 1



NORTH:

PROJECT NAME:

Extension & Interior
 Alteration of an existing
 One-storey residential at
 6 Bailey Cres., Aurora, ON L4G 2B3

DRAWING TITLE:

SCALE: 1 : 50
 SHEET NO:

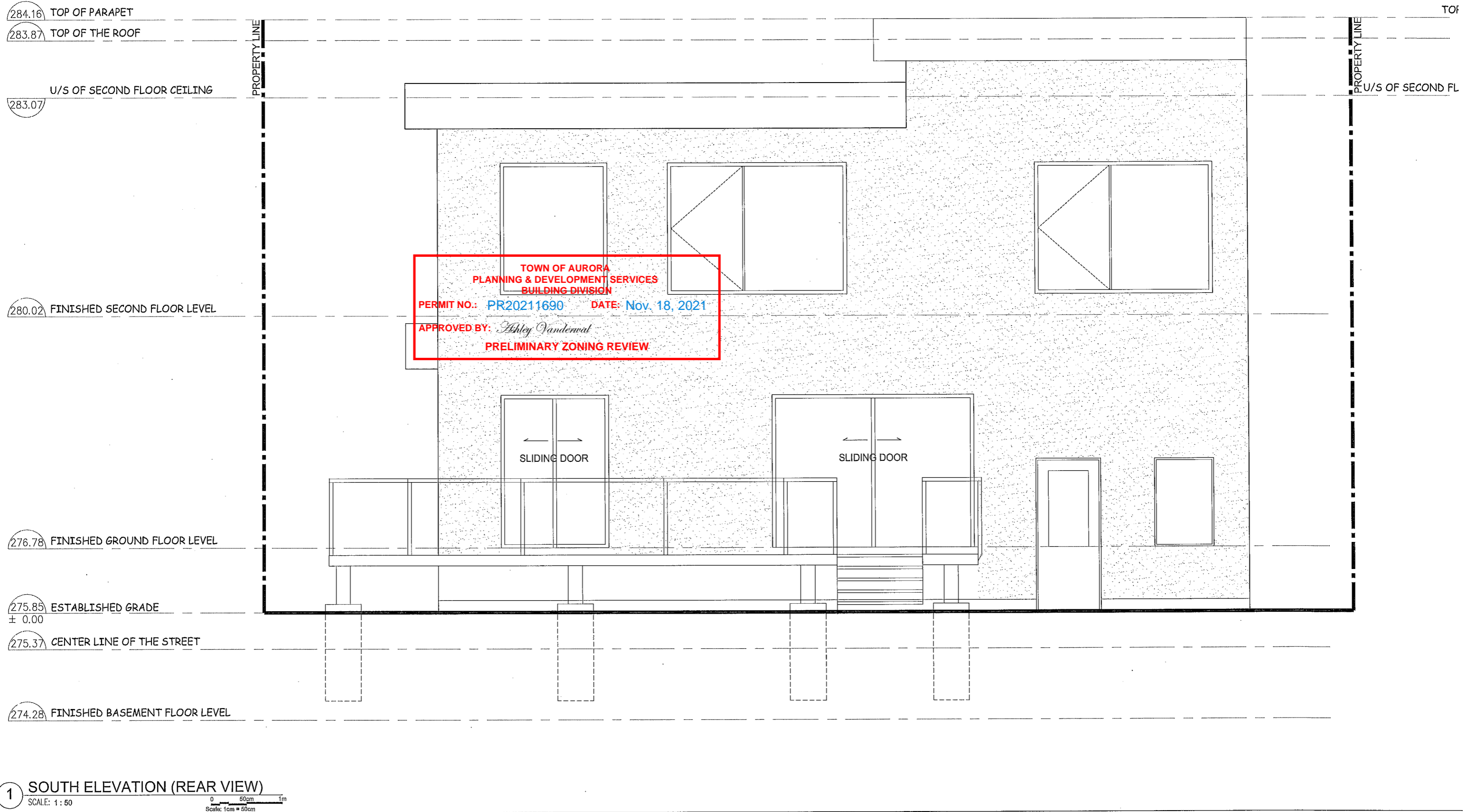
NORTH ELEVATION
 (FRONT VIEW)

DRAWING NO:

A4-01

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File address: D:_For Architect Inc_\Projects\Design\2021\21034 6 Bailey Cres, Aurora ON L4G 2B3\06 - Sheet\A4-02.dwg
 Plot date: November 1, 2021 11:15:03 PM



1 SOUTH ELEVATION (REAR VIEW)
 SCALE: 1:50
 0 50cm 1m
 Scale: 1cm = 50cm

Last saved by: F_ABD

FAR ARCHITECT
 77 GARDEN AVE.
 RICHMOND HILL, ON, L4C 6L6
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 www.fararchitect.com



**TOWN OF AURORA
 PLANNING & DEVELOPMENT SERVICES
 BUILDING DIVISION**
 PERMIT NO.: PR20211690 DATE: Nov. 18, 2021
 APPROVED BY: Ashley Vandervat
 PRELIMINARY ZONING REVIEW

SUBMISSION No. 1
**TOWN OF AURORA
 PLANNING AND DEVELOPMENT SERVICES
 Development Planning Division**
 DATE: Feb. 7, 2022
RECEIVED

1	ISSUED FOR PPR /SPA	2021-11-02
DATE:	DESCRIPTION:	DATE:

NORTH: PROJECT NAME: Extension & Interior Alteration of an existing One-storey residential at 6 Bailey Cres., Aurora, ON L4G 2B3
 DRAWING TITLE: SOUTH ELEVATION (REAR VIEW)
 SCALE: 1:50
 SHEET NO: A4-02

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File address: D:\Far Architect Inc\Projects\Design\2021\21034 6 Bailey Cres. Aurora ON L4G 2B3\06 - Sheet\A4-03.dwg

Plot date: November 1, 2021 11:15:45 PM

Last saved by: F_ABD

284.16 TOP OF PARAPET

283.87 TOP OF THE ROOF

U/S OF SECOND FLOOR CEILING

283.07

280.02 FINISHED SECOND FLOOR LEVEL

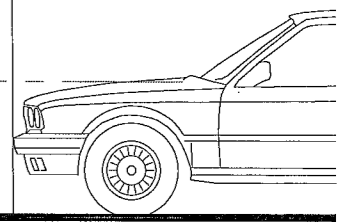
276.78 FINISHED GROUND FLOOR LEVEL

275.85 ESTABLISHED GRADE
± 0.00

275.37 CENTER LINE OF THE STREET

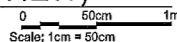
274.28 FINISHED BASEMENT FLOOR LEVEL

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20211690 DATE: Nov. 18, 2021
APPROVED BY: *Ashley Vanderwal*
PRELIMINARY ZONING REVIEW



1 EAST ELEVATION (SIDE VIEW)

SCALE: 1:50



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TOWN OF AURORA
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BUILDING DIVISION
PERMIT NO.: PR20211690 DATE: Nov. 18, 2021
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PRELIMINARY ZONING REVIEW

SUBMISSION No. 1



NORTH:

PROJECT NAME:

Extension & Interior
Alteration of an existing
One-storey residential at
6 Bailey Cres., Aurora, ON L4G 2B3

DRAWING TITLE:

SCALE:

1:50

SHEET NO:

EAST ELEVATION
(SIDE VIEW)

DRAWING NO:

A4-03

1	ISSUED FOR PPR /SPA	2021-11-02
REV:	DESCRIPTION:	DATE:

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File address: D:\Far Architect Inc\Projects\Design\2021\21034 6 Bailey Cres. Aurora ON L4G 2B3\06 - Sheet\A4-04.dwg

Plot date: November 1, 2021 11:16:15 PM

Last saved by: F_ABD

284.16 TOP OF PARAPET
283.87 TOP OF THE ROOF

U/S OF SECOND FLOOR CEILING
283.07

280.02 FINISHED SECOND FLOOR LEVEL

276.78 FINISHED GROUND FLOOR LEVEL

275.85 ESTABLISHED GRADE
0.00

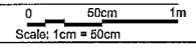
275.37 CENTER LINE OF THE STREET

274.28 FINISHED BASEMENT FLOOR LEVEL

TOP
U/S OF SECOND F

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20211690 DATE: Nov. 18, 2021
APPROVED BY: Ashley Vanderwal
PRELIMINARY ZONING REVIEW

1 WEST ELEVATION - SIDE VIEW
SCALE: 1:50



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TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION
PERMIT NO.: PR20211690 DATE: Nov. 18, 2021
APPROVED BY: Ashley Vanderwal
PRELIMINARY ZONING REVIEW

SUBMISSION No. 1

TOWN OF AURORA
PLANNING AND DEVELOPMENT SERVICES
Development Planning Division
DATE: Feb. 7, 2022
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REV	DESCRIPTION	DATE
1	ISSUED FOR PPR /SPA	2021-11-02

NORTH: PROJECT NAME:

Extension & Interior
Alteration of an existing
One-storey residential at
6 Bailey Cres., Aurora, ON L4G 2B3

DRAWING TITLE:
SCALE: 1:50
SHEET NO:

WEST ELEVATION
(SIDE VIEW)
DRAWING NO:
A4-04



TOWN OF AURORA COMMITTEE OF ADJUSTMENT REQUEST FOR DECISION

Meeting Date: _____ Agenda Item Number: _____

Application Name: _____

File Number(s): _____

IMPORTANT NOTICE

You must complete this form and submit it to the Secretary-Treasurer to ensure your name and address are accurately noted for future notification.

This meeting is your opportunity to voice any opinions or comments you may have regarding an Application for approval of a Minor Variance/Permission or Consent. Under the *Planning Act*, for a Minor Variance and Permission, Section 45(10) states that the Secretary-Treasurer shall send one copy of the decision, to each person or public body who appeared in person or by counsel at the hearing AND who filed with the Secretary-Treasurer a written request for Notice of the Decision. For Consent, Section 53(17) states that if the Committee gives or refuses to give provisional Consent, the Committee shall ensure written Notice of the Decision is given to each person or public body that made a written request to be notified of decision or conditions.

NOTE: Due to COVID-19, all Request for Decisions shall be emailed to Brashanthe Manoharan, Secretary-Treasurer, at bmanoharan@aurora.ca.

Please print clearly and provide information requested below.

Name: _____
(MR./MRS./MS) (First) (Last)

Address: _____

Municipality: _____ Postal Code: _____
(Must Be Provided)

Telephone: Residence _____ E-Mail: _____
Business _____ E-Mail: _____

Notice of Decision and/or future consideration of this Committee of Adjustment Application will be provided by E-Mail.

NOTE: Notice of this meeting was given by mail to all owners within 120 metres (400 feet) of the subject lands

Personal information on this form is collected under the legal authority of the *municipal act*, R.S.O.1990, and C.M.45, as amended. This information will be used for the purposes of sending correspondence relating to matters before council. The information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to section 27 of the *municipal freedom of information and protection of privacy act*, R.S.O. 1990, C.M.56, as amended. Questions about this collection should be directed to the town clerk, town of aurora, 100 john west way, box 1000, aurora, Ontario, l4g 6j1, telephone: 905-727-3123 ext. 4771