



**NOTICE OF PUBLIC HEARING
MINOR VARIANCE**

Pursuant to Section 45(5) of *The Planning Act*

FILE NUMBER: MV-2023-37

APPLICANT: DIANNE MARIE VARGA

PROPERTY: 14 Wenderly Dr, Aurora, ON L4G1V4
PLAN 488 LOT 20

**RELATED
APPLICATIONS:** n/a

ZONING: R3-SN(497) Detached Third Density Residential

PURPOSE: A Minor Variance Application has been submitted to facilitate a detached garage

**THE FOLLOWING
VARIANCES ARE
REQUIRED:**

- 1) Section 24.497.8 of the Zoning By-law allows at maximum gross floor area of 40 square metres for any accessory detached structure.
 - a. The applicant is proposing a detached garage with a gross floor area 46.5 square metres.

A Location Map and Site Plan illustrating the request are attached. This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

DATE:	December 14, 2023
TIME:	7:00 p.m.
LOCATION:	Electronic Meeting (Please visit https://www.youtube.com/user/Townofaurora2012 for live stream of the meeting)

NOTE: As a result of COVID-19, Town Hall and other Town facilities have been CLOSED to the public. During this time, Committee of Adjustment meetings will be held electronically and may be viewed via live stream. Please visit the Town’s website for further details.

You may express your views about this Application, for consideration by the Committee, in the following ways:

- i) **Participate in the electronic meeting as a live delegate.** Please send a delegation request to the Secretary–Treasurer, Peter Fan, at PFan@aurora.ca **no later than 4:30pm on December 12th, 2023.** Once the request has been received, instructions will be provided on how to make your delegation during the electronic meeting.

The Delegation Request form is located on the Town website: <https://webforms.aurora.ca/Delegation-Request>

- ii) **Provide written comments.** Please email your comments to the Secretary – Treasurer, Peter Fan, at PFan@aurora.ca **no later than 12:00pm (noon) on December 12th 2023** Alternatively, comments may be mailed to Town Hall at the address below. Please note, mailed comments must be received by the Town prior to the meeting in order to be considered by the Committee.

*Town of Aurora
100 John West Way, Box 1000
Aurora, ON L4G 6J1*

If you wish to be notified of the Decision with respect to this Application, you must complete the enclosed “Request for Decision” form. The form can also be found at <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Request-for-Decision--Fillable.pdf>. This form is to be emailed to PFan@aurora.ca **no later than 4:30pm on December 14, 2023.**

If you receive this notice as an owner of land containing seven or more residential units, please post this notice in a location that is visible to all property residents.

Should you have any questions regarding this application, please contact Peter Fan at PFan@aurora.ca or at **(905) 726-4711**

Personal Information Collection Notice

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990, Chapter c.P.13*, as amended. Your comments in respect to this Application will become part of the decision making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56*, as amended, (*the "Act"*) public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with *the Act*. Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 30th DAY OF NOVEMBER 2023



Peter Fan
Secretary-Treasurer/Assistant Planner
Committee of Adjustment

ATTACHMENTS

- Attachment 1 – Location Map
- Attachment 2 – Site Plan
- Attachment 3 – Request for Decision

Agenda packages will be available prior to the Hearing at:

<https://www.aurora.ca/agendas>



1	35	39
0	34	196

Cameron Avenue

41	43	49	51	53	55	57	59	61	63	65				
183														
189	48	50	52	54	56	58	60	62	64	66	68	70	72	74
40														

80	95
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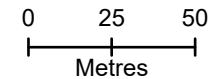
Dunning Avenue

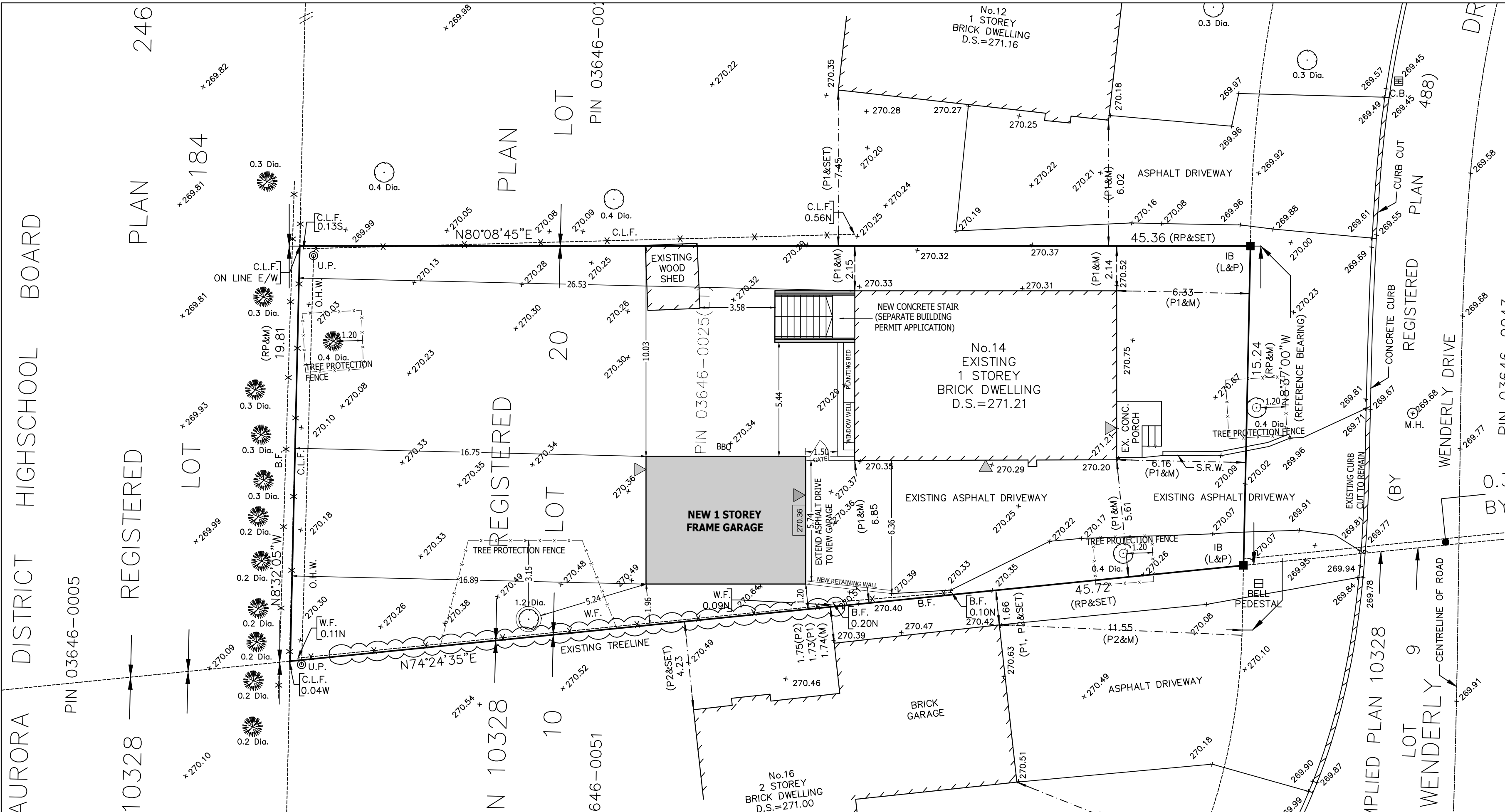
Dunning Avenue



LOCATION MAP
14 WENDERLY DRIVE
FILE: MV-2023-37
TOWN OF AURORA
COMMITTEE OF ADJUSTMENT

 **SUBJECT LANDS**





- ### LEGEND
- ENTRANCE TO BUILDING
 - EXISTING ELEVATION
 - 208.40 PROPOSED ELEVATION
 - DENOTES MONUMENT SET
 - DENOTES MONUMENT FOUND
 - DENOTES STANDARD IRON BAR
 - DENOTES IRON BAR
 - DENOTES ROUND IRON BAR
 - DENOTES CUT CROSS
 - DENOTES PLAN OF SURVEY BY LLOYD & PURCELL LTD., O.L.S. DATE MAY 16, 1994
 - DENOTES PLAN OF SURVEY BY YATES & YATES LTD., O.L.S. DATE MAY 11, 1978
 - DENOTES REGISTERED PLAN 488
 - DENOTES WITNESS
 - DENOTES PROPERTY IDENTIFIER NUMBER
 - DENOTES MEASURED
 - DENOTES NORTH, SOUTH, EAST, WEST
 - DENOTES BOARD FENCE
 - DENOTES CHAIN LINK FENCE
 - DENOTES WIRE FENCE
 - DENOTES LLOYD & PRUCELL LTD., O.L.S. DATE MAY 16, 1994
 - DENOTES NOT IDENTIFIABLE
 - DENOTES FINISHED SILL ELEVATION AT ENTRY
 - DENOTES OVERHEAD WIRE
 - DENOTES CONCRETE
 - DENOTES STONE RETAINING WALL
 - DENOTES UTILITY POLE
 - DENOTES MANHOLE
 - DENOTES WATER VALVE
 - DENOTES CATCH BASIN
 - DENOTES CONIFEROUS TREE
 - DENOTES DECIDUOUS TREE

1 SITE PLAN

Scale: 1:150

THIS PLAN IS BASED ON THE SRPR PREPARED BY MANDARIN SURVEYORS LIMITED SIGNED BY **Z. ZENG** AND DATED ON APRIL 18, 2018

TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION

PERMIT NO.: PR20231266 DATE: Oct. 18, 2023

APPROVED BY: *Hana Hossain*
PRELIMINARY ZONING REVIEW

2 SITE STATISTICS

Town of Aurora Zoning By-Law #6000-17

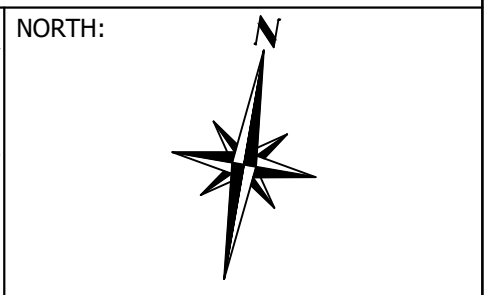
ZONED - R3 (SN)		
LOT AREA:	795.07 m2	
LOT COVERAGE	PERMITTED	
	35% / 278.27 m2	
LOT COVERAGE	EXISTING	PROPOSED
EXISTING BUILDING	101.15 m2	101.15 m2
EXISTING SHED	7.71 m2	7.71 m2
NEW GARAGE	0 m2	46.45 m2 (5.84%)
SUM	108.86 m2 / 13.69%	155.31 m2 / 19.53%
ACCESSORY STRUCTURE REQUIREMENTS		
SETBACKS	PERMITTED	PROPOSED
SOUTH SIDE YARD	1.2 m (1 STOREY)	1.2 m
NORTH SIDE YARD	1.2 m (1 STOREY)	10.03 m
REAR YARD	1.0 m	16.75 m
MAX. HEIGHT	4.5 m	3.45 m
AVERAGE FINISHED GRADE = 270.44		
	270.64	
	270.36	
	270.34	
	270.36	
	270.49	
	270.44	

ALL CONSULTANTS AND CONTRACTORS SHALL CHECK ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO FIRST STEP DESIGN.

THIS DRAWING IS COPYRIGHTED INSTRUMENT OF SERVICE AND IT REMAINS THE PROPERTY OF FIRST STEP DESIGN. USE AND REPRODUCTION OF THIS DRAWING IS ALLOWED ONLY WITH THE WRITTEN CONSENT OF FIRST STEP DESIGN.

THE DRAWING IS NOT ISSUED FOR BUILDING PERMIT UNLESS IT IS STAMPED AND SIGNED AND THE DATED REVISION FIELD STATES: ISSUED FOR BUILDING PERMIT.

DO NOT SCALE DRAWING.



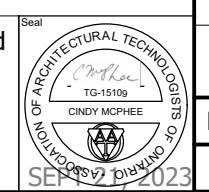
PROJECT ADDRESS:
14 WENDERLY DR.
AURORA, ON

DRAWING TITLE:
SITE PLAN

4	2023 - 09 - 21	ISSUED FOR BUILDING PERMIT
3	2023 - 07 - 07	ISSUED FOR COORDINATION
2	2023 - 05 - 23	ISSUED FOR REVIEW
1	2023 - 05 - 02	ISSUED FOR REVIEW
NO.	DATE	DESCRIPTION
REVISIONS		

PROJECT NUMBER: 2312
DRAWN BY: CM - SS
DATE: JULY 2023
SCALE: 1:150
DRAWING NUMBER: **A-1.0**

I review and take responsibility for the design work on behalf of a firm registered under subsection of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
Individual BCIN: 36329
Firm BCIN: 111517



NOTE:
 -DIMENSIONS TO FINISH GYPSUM UNLESS NOTED OTHERWISE
 -ALL INTERIOR DOORS DIMENSIONED TO INTERIOR FRAME SIZE
 -TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS



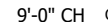
GUARD/RAILING
 FINISHED NON-CLIMBABLE GUARD/RAILING (4" TO 35" ABOVE WITH 4" (100) O.C. MAXIMUM SPACING BETWEEN PICKETS. EVERY REQUIRED GUARD TO BE DESIGNED IN ACCORDANCE WITH OBC DIV B 9.8.8. GUARDS TO BE DESIGNED TO LOAD REQUIREMENTS OF OBC DIV B 9.8.8.2, SUCH THAT THE MINIMUM SPECIFIED HORIZONTAL LOAD APPLIED INWARD OR OUTWARD AT THE TOP OF EVERY GUARD REQUIRED SHALL BE A UNIFORM LOAD OF 0.5 kN OR A CONCENTRATED LOAD OF 1.0 kN
 THE MINIMUM SPECIFIED HORIZONTAL LOAD APPLIED INWARD OR OUTWARD ON ELEMENTS WITHIN THE GUARD, INCLUDING SOLID PANELS AND PICKETS SHALL BE 0.5 kN APPLIED OVER A MAX. WIDTH OVER 300 mm AND A HEIGHT OF 300 mm. THE MINIMUM SPECIFIED VERTICAL LOAD APPLIED EVENLY AT THE TOP OF THE GUARD SHALL BE 1.5 kN/m. HEIGHTS OF REQUIRED GUARDS DIV B 9.8.7, INTERIOR GUARDS: 2'-11" (900) MIN. HIGH.
 EXTERIOR GUARDS: 3'-6" (1070) MIN. HIGH

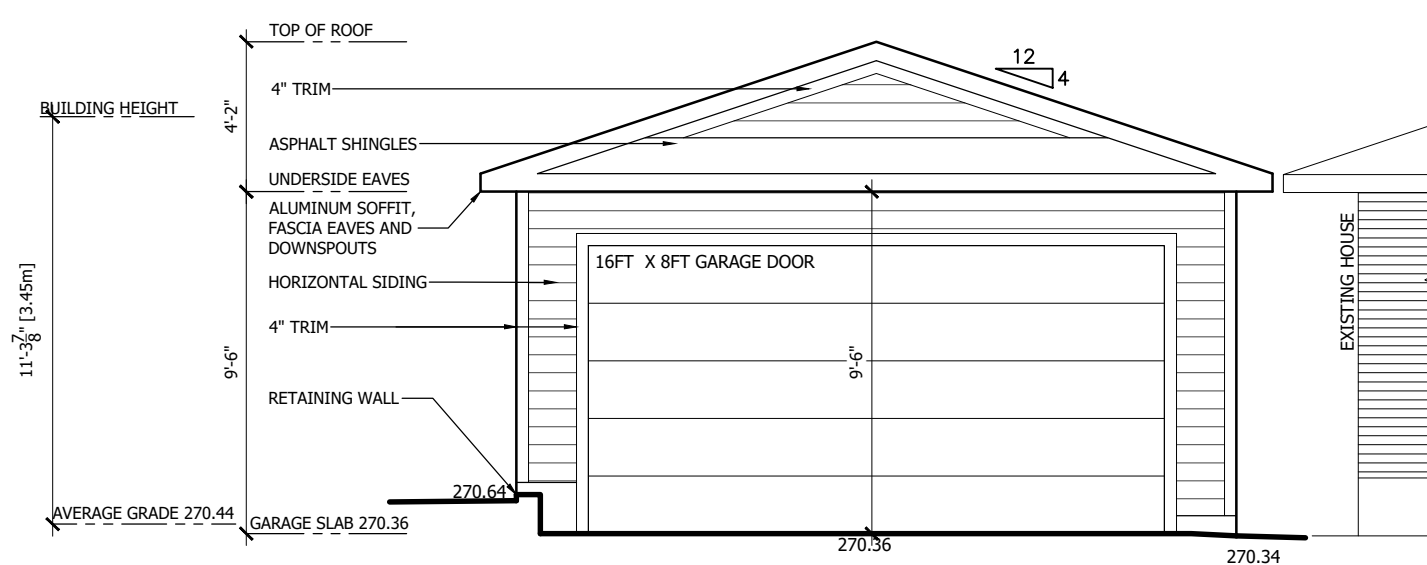
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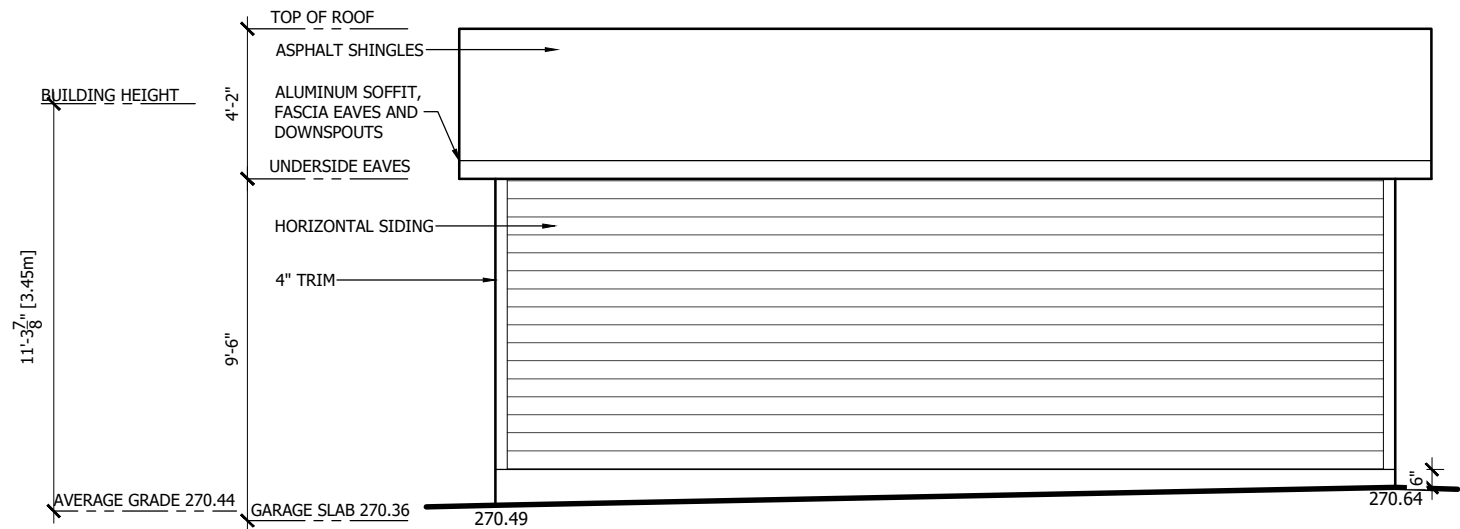
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LEGEND

-  NEW WALL
-  # INDICATES DOOR WIDTH
-  9'-0" CH CEILING HEIGHT



1 PROPOSED EAST ELEVATION
 Scale: 3/16" = 1'-0"



2 PROPOSED SOUTH ELEVATION
 Scale: 3/16" = 1'-0"

NO.	DATE	DESCRIPTION
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REVISIONS



TOWN OF AURORA
 PLANNING & DEVELOPMENT SERVICES
 BUILDING DIVISION
PERMIT NO.: PR20231266 **DATE:** Oct. 18, 2023
APPROVED BY: *Hana Hosain*
 PRELIMINARY ZONING REVIEW

PROJECT ADDRESS: 14 WENDERLY DR AURORA, ON.

DRAWING TITLE: PROPOSED EAST AND SOUTH ELEVATIONS

PROJECT NUMBER: 2312

DRAWN BY: CM-SS

DATE: JULY 2023

SCALE: 3/16" = 1'-0"

I review and take responsibility for the design work on behalf of a firm registered under subsection of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
 Individual BCIN: 36329
 Firm BCIN: 111517
C. McPhee

DRAWING NUMBER:
A-3.1

NOTE:
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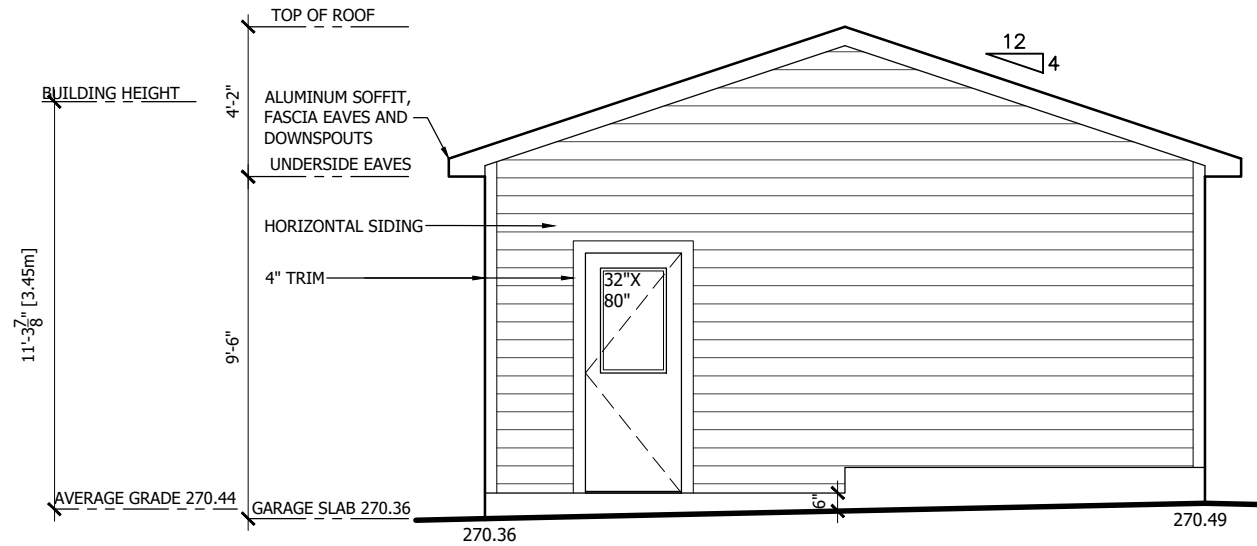
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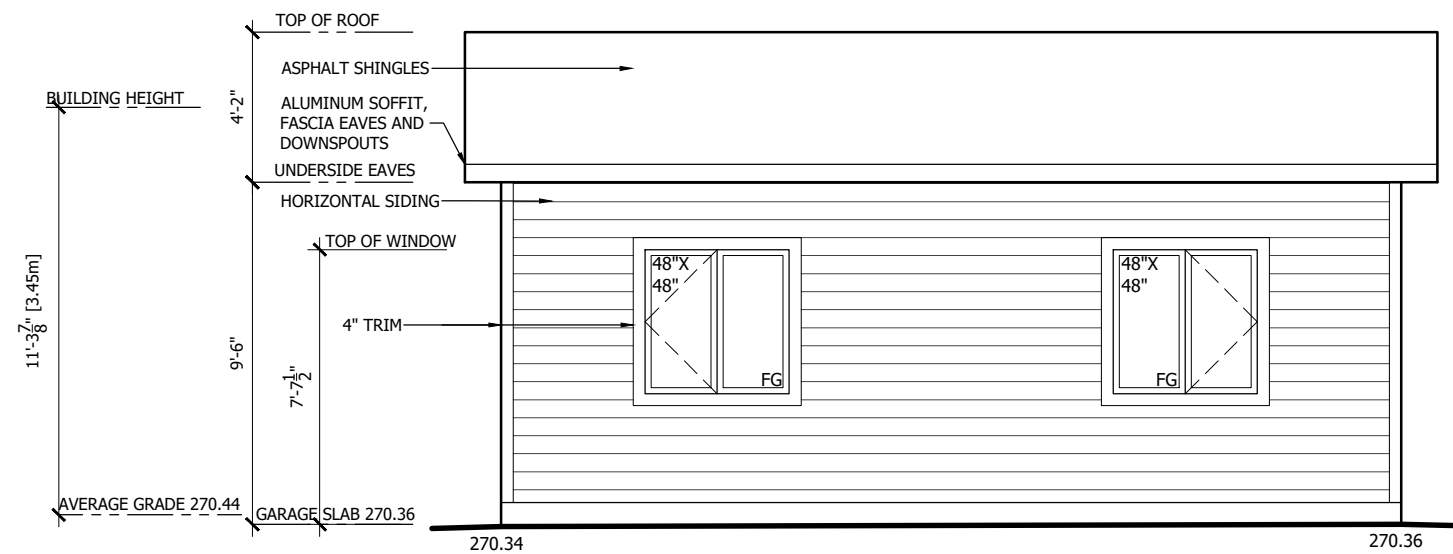
DO NOT SCALE DRAWING.

LEGEND

-  NEW WALL
-  # INDICATES DOOR WIDTH
-  9'-0" CH CEILING HEIGHT



1 PROPOSED WEST ELEVATION
 Scale: 3/16" = 1'-0"



2 PROPOSED NORTH ELEVATION
 Scale: 3/16" = 1'-0"

**TOWN OF AURORA
 PLANNING & DEVELOPMENT SERVICES
 BUILDING DIVISION**
 PERMIT NO.: PR20231266 DATE: Oct. 18, 2023
 APPROVED BY: *Alicia Hossain*
 PRELIMINARY ZONING REVIEW

I review and take responsibility for the design work on behalf of a firm registered under subsection of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.
 Individual BCIN: 36329
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C. McPhee

NO.	DATE	DESCRIPTION
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1	2023 / 05 / 02	ISSUED FOR REVIEW

REVISIONS



PROJECT ADDRESS:
 14 WENDERLY DR
 AURORA, ON.

DRAWING TITLE: PROPOSED WEST AND NORTH ELEVATIONS

PROJECT NUMBER: 2312

DRAWN BY: CM-SS

DATE: JULY 2023

SCALE: 3/16" = 1'-0"

DRAWING NUMBER:

A-3.2



TOWN OF AURORA COMMITTEE OF ADJUSTMENT REQUEST FOR DECISION

Meeting Date: _____ Agenda Item Number: _____

Application Name: _____

File Number(s): _____

IMPORTANT NOTICE

You must complete this form and submit it to the Secretary-Treasurer to ensure your name and address are accurately noted for future notification.

This meeting is your opportunity to voice any opinions or comments you may have regarding an Application for approval of a Minor Variance/Permission or Consent. Under the *Planning Act*, for a Minor Variance and Permission, Section 45(10) states that the Secretary-Treasurer shall send one copy of the decision, to each person or public body who appeared in person or by counsel at the hearing AND who filed with the Secretary-Treasurer a written request for Notice of the Decision. For Consent, Section 53(17) states that if the Committee gives or refuses to give provisional Consent, the Committee shall ensure written Notice of the Decision is given to each person or public body that made a written request to be notified of decision or conditions.

NOTE: Due to COVID-19, all Request for Decisions shall be emailed to Peter Fan, Secretary-Treasurer, at pfan@aurora.ca.

Please print clearly and provide information requested below.

Name: _____
(MR./MRS./MS) (First) (Last)

Address: _____

Municipality: _____ Postal Code: _____
(Must Be Provided)

Telephone: Residence _____ E-Mail: _____
Business _____ E-Mail: _____

Notice of Decision and/or future consideration of this Committee of Adjustment Application will be provided by E-Mail.

NOTE: Notice of this meeting was given by mail to all owners within 120 metres (400 feet) of the subject lands

Personal information on this form is collected under the legal authority of the *municipal act*, R.S.O.1990, and C.M.45, as amended. This information will be used for the purposes of sending correspondence relating to matters before council. The information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to section 27 of the *municipal freedom of information and protection of privacy act*, R.S.O. 1990, C.M.56, as amended. Questions about this collection should be directed to the town clerk, town of aurora, 100 john west way, box 1000, aurora, Ontario, l4g 6j1, telephone: 905-727-4771