



**NOTICE OF PUBLIC HEARING  
MINOR VARIANCE**

**Pursuant to Section 45(5) of *The Planning Act***

**FILE NUMBER:** MV-2023-44

**APPLICANT:** The Biglieri Group

**PROPERTY:** 100 Goulding Ave, Aurora, ON L3X1V6  
PLAN 65M3974 LOT 4

**RELATED  
APPLICATIONS:** SP-2023-01

**ZONING:** E-BP(338) Business Park

**PURPOSE:** A Minor Variance Application has been submitted to request two variances for the site as part of an ongoing Site Plan Application.

**THE FOLLOWING  
VARIANCES ARE  
REQUIRED:**

1. Section 10.2 of the Zoning By-law 6000-17 requires a maximum building height be 13.5 meters.
  - a. The applicant is proposing 17.0 meters.
2. Section 10.2 of the Zoning By-law 6000-17 does not permit a “restaurant” as an accessory use to an “Industrial Use.”
  - a. The applicant is proposing a restaurant as an accessory use to an “Industrial Use”.

A Location Map and Site Plan illustrating the request are attached. This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

<b>DATE:</b>	<b>February 8, 2024</b>
<b>TIME:</b>	<b>7:00 p.m.</b>
<b>LOCATION:</b>	<b>Electronic Meeting (Please visit <a href="https://www.youtube.com/user/Townofaurora2012">https://www.youtube.com/user/Townofaurora2012</a> for live stream of the meeting)</b>

**NOTE:** The Committee of Adjustment meetings will be held electronically and may be viewed via live stream. Please visit the Town’s website for further details.

You may express your views about this Application, for consideration by the Committee, in the following ways:

- i) **Participate in the electronic meeting as a live delegate.** Please send a delegation request to the Secretary-Treasurer, Peter Fan, at [PFan@aurora.ca](mailto:PFan@aurora.ca) **no later than 4:30pm on February 6<sup>th</sup>, 2024.** Once the request has been received, instructions will be provided on how to make your delegation during the electronic meeting.

The Delegation Request form is located on the Town website: <https://webforms.aurora.ca/Your-Government/Committee-of-Adjustment-Delegation-Request-Form>

- ii) **Provide written comments.** Please email your comments to the Secretary-Treasurer, Peter Fan, at [Pfan@aurora.ca](mailto:Pfan@aurora.ca) **no later than 12:00pm (noon) on February 8<sup>th</sup>, 2024.** Alternatively, comments may be mailed to Town Hall at the address below. Please note, mailed comments must be received by the Town prior to the meeting in order to be considered by the Committee.

*Town of Aurora  
100 John West Way, Box 1000  
Aurora, ON L4G 6J1*

If you wish to be notified of the Decision with respect to this Application, you must complete the enclosed “Request for Decision” form. The form can also be found at <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Request-for-Decision--Fillable.pdf>. This form is to be emailed to [PFan@aurora.ca](mailto:PFan@aurora.ca) **no later than 4:30pm on February 8<sup>th</sup>, 2024.**

**If you receive this notice as an owner of land containing seven or more residential units, please post this notice in a location that is visible to all property residents.**

Should you have any questions regarding this application, please contact Peter Fan at PFan@aurora.ca or at **(905) 726-4711**

**Personal Information Collection Notice**

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990, Chapter c.P.13*, as amended. Your comments in respect to this Application will become part of the decision-making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56*, as amended, (the "Act") public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with *the Act*. Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 25<sup>th</sup> DAY OF January 2024



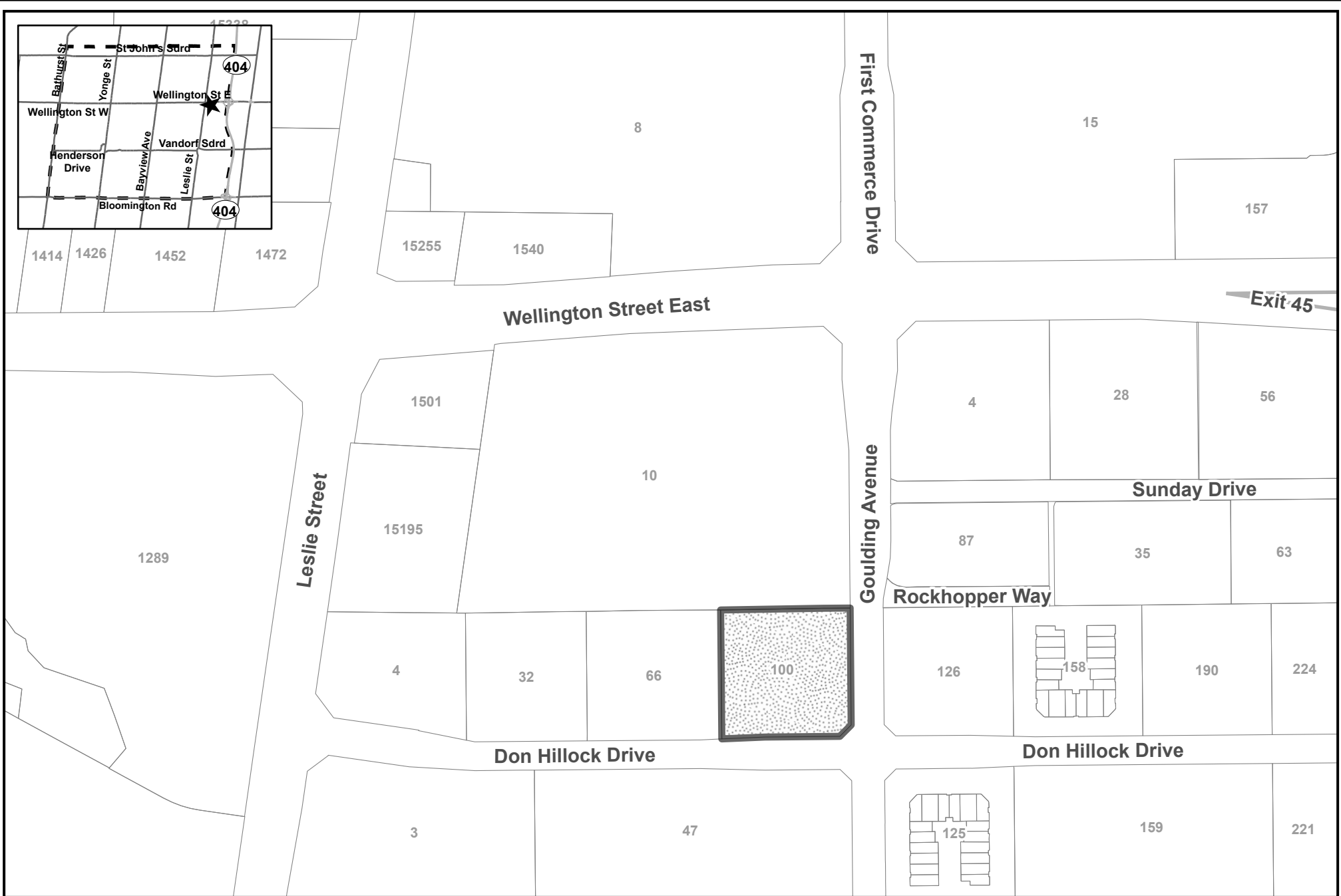
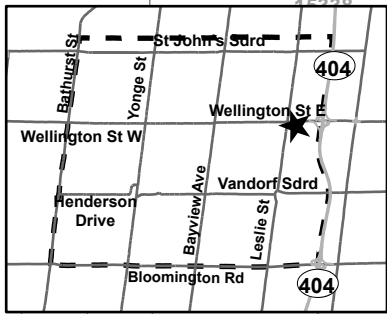
Peter Fan  
Secretary-Treasurer/Assistant Planner  
Committee of Adjustment

**ATTACHMENTS**

- Attachment 1 – Location Map
- Attachment 2 – Site Plan
- Attachment 3 – Request for Decision

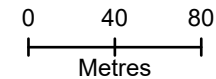
**Agenda packages will be available prior to the Hearing at:**

<https://www.aurora.ca/agendas>



**LOCATION MAP**  
**100 GOULDING AVENUE**  
**FILE: MV-2023-44**  
**TOWN OF AURORA**  
**COMMITTEE OF ADJUSTMENT**

 **SUBJECT LANDS**



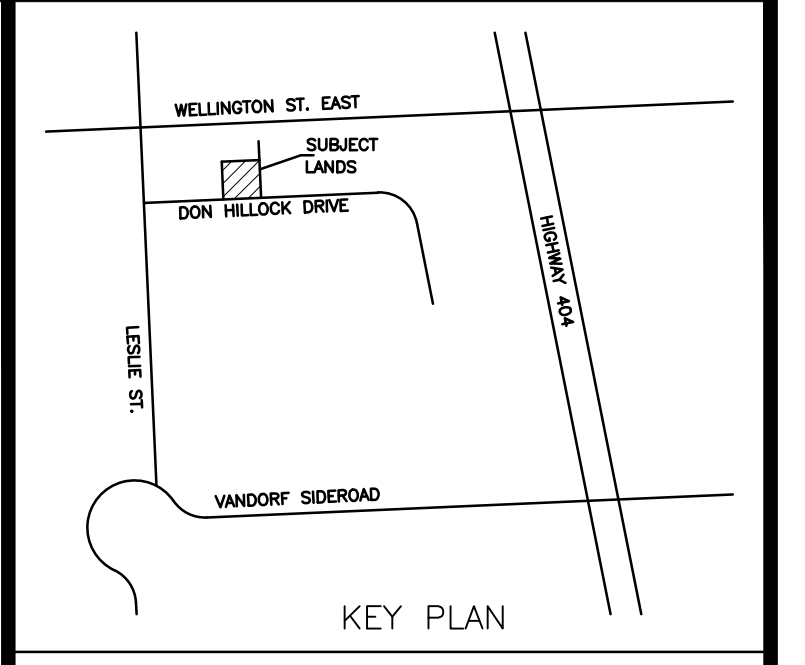
SYMBOL LEGEND	
	MAN DOOR LOCATIONS
	LOADING DOCK LOCATIONS
	DRIVE-IN LOCATIONS
	ENTRANCE & EXIT VESTIBULES
	DIRECTION OF TRAFFIC FLOW
	LANDSCAPE ISLANDS DO CONC. CURB CONC. AS SHOWN CON. LANDSCAPE - SEE LANDSCAPE DWG.
	PAINTED ISLANDS PAINTED TRAFFIC ISLAND COLOUR AS PER PAINT SPEC.
	CURB-CUTS FOR ACCESSIBLE ACCESS
	LIGHT DUTY ASPHALT PAVING CAR PARKING AND DRIVEWAYS SEE SITE SERVICE & GRADING DWGS FOR DETAILS
	HEAVY DUTY ASPHALT PAVING TRUCKING ROUTE SEE SITE SERVICE & GRADING DWGS FOR DETAILS
	SNOW STORAGE
	EASEMENT
	PROPERTY LINE
	DESIGNATED FIRE ROUTE
	ACCESSIBLE PARKING SIGN
	ACCESSIBLE PARKING STALL
	FIRE HYDRANT AND VALVE (REFER TO TYPICAL SITE PLAN DETAILS)
	FIRE DEPT. CONNECTION
	ALTERNATIVE FUELING STATION
	GARBAGE ROOM
	ELECTRICAL ROOM
	MECHANICAL ROOM
	CART CORRAL
	BICYCLE RACK -LAYOUT CONFORMS TO "STANDARDS FOR DESIGN & MANAGEMENT OF BICYCLE PARKING FACILITIES"
	ROOF DRAIN
	FIRE ANNUNCIATOR PANEL
	FIRE ALARM
	CANADA POST FACILITY
	LIGHTING REFERENCE (REFER TO ELECTRICAL DRAWINGS)
	FIRE-ROUTE SIGN
	IMPRESSED ASPHALT
	ELECTRIC VEHICLE CHARGING STATION
	STOP SIGN

**PLAN OF SURVEY  
SHOWING TOPOGRAPHIC FEATURES  
LOT 4, REGISTERED PLAN 65M-3974  
TOWN OF AURORA  
REGIONAL MUNICIPALITY OF YORK**

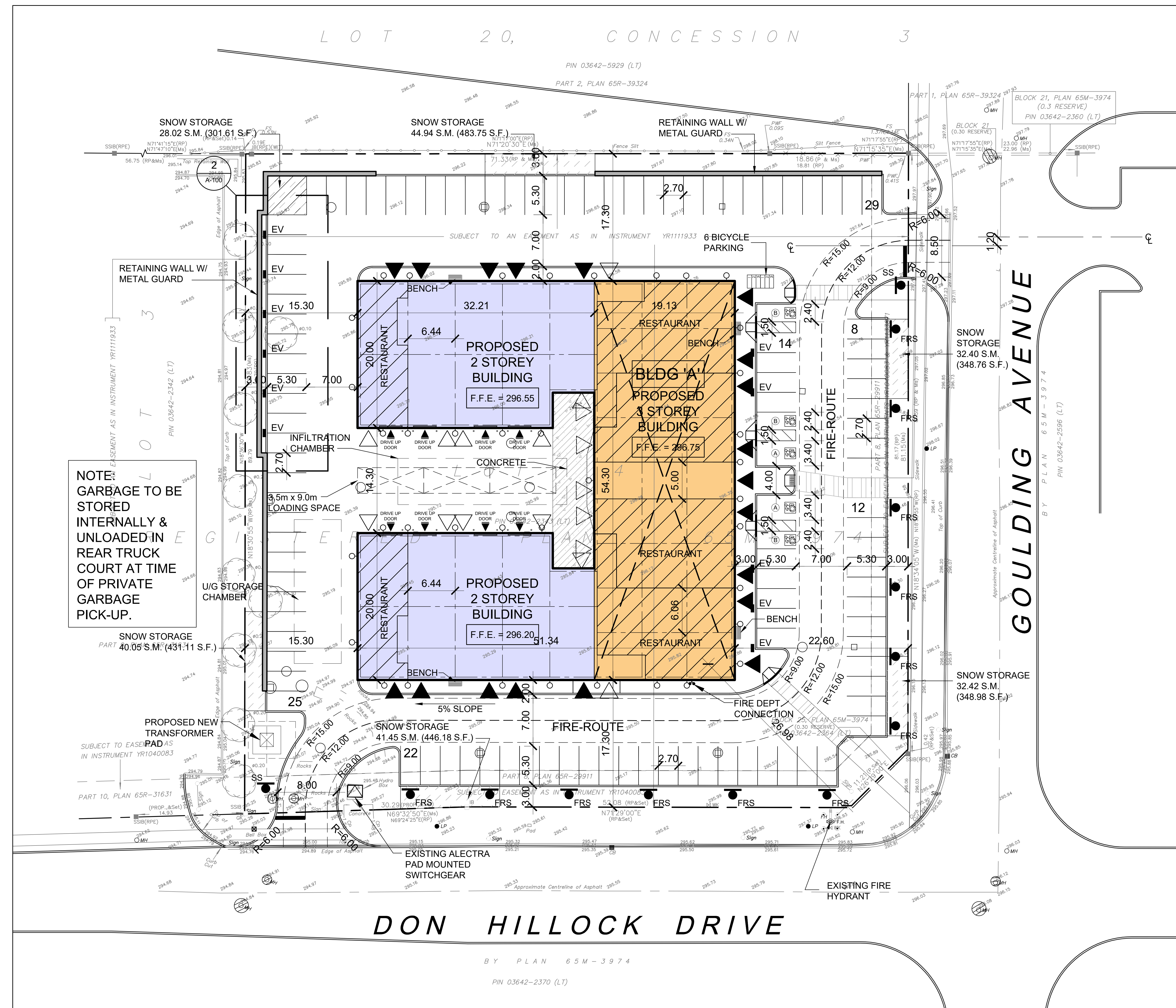
YOUNG & YOUNG SURVEYING INC.  
ONTARIO LAND SURVEYORS  
DATE: JANUARY, 12 2022.

**SITE ANALYSIS (SPA)**

ZONING:	E - BP (338)	1.98 ACRES
LOT AREA:	8,008.37 S.M.	
<b>BUILDING AREA:</b>		
GROUND FLOOR (INDUST. / REST.):	2,273.12 S.M.	(24,468.46 S.F.)
2ND FLOOR (INDUST. / OFFICE):	2,273.12 S.M.	(24,468.46 S.F.)
3RD FLOOR (OFFICE):	1,038.74 S.M.	(11,181.27 S.F.)
TOTAL GFA:	5,584.98 S.M.	(60,116.19 S.F.)
<b>NET GFA: (EXCLUDING STAIRWELLS &amp; ELEVATOR SHAFTS)</b>		
GROUND FLOOR (INDUST.):	988.40 S.M.	
GROUND FLOOR (REST.):	1,116.99 S.M.	
TOTAL GROUND FLOOR:	2,105.39 S.M.	(167.65 S.M.)
2ND FLOOR (INDUST.):	1,072.67 S.M.	
2ND FLOOR (OFFICE):	963.03 S.M.	(0.3 RESERVE)
TOTAL 2ND FLOOR:	2,035.70 S.M.	(237.18 S.M.)
3RD FLOOR (OFFICE):	972.48 S.M.	(66.26 S.M.)
TOTAL GFA:	5,113.57 S.M.	(463.85 S.M.)
COVERAGE:	28.38%	
F.S.I. (NET):	0.63	
<b>PARKING REQUIRED (NET):</b>		
100.00 S.M. @ 3 CAR / 100 S.M.	3 SPACES	
2,700.00 S.M. @ 2 CAR / 100 S.M.	54 SPACES	
2,313.57 S.M. @ 1 CAR / 100 S.M.	24 SPACES	
TOTAL PARKING REQUIRED:	81 SPACES	
<b>PARKING PROVIDED:</b>		
110 SPACES		
<b>ACCESSIBLE PARKING REQ'D:</b>		
1 + 3% OF 110 = 5 SPACES		
<b>ACCESSIBLE PARKING PROVID:</b>		
2 TYPE A		
3 TYPE B		
<b>BUILDING HEIGHT:</b>		
15.5m (3 STOREYS)		
<b>PAVED AREA:</b>		
4,312.27 S.M. (53.85%)		
<b>LANDSCAPE AREA:</b>		
1,422.98 S.M. (17.77%)		
<b>SNOW STORAGE AREA:</b>		
219.28 S.M. (5.09% OF PAVED AREA)		
<b>RESTAURANT (UNITS 1, 6, 7, 8, 9 &amp; 14)</b>		
GROUND FLOOR:	1,116.99 S.M. (12,023.57 S.F.)	(20.00%)
TOTAL:	1,116.99 S.M. (12,023.57 S.F.)	(20.00%)



**KEY MAP  
N.T.S.**



**NOTE:**  
GARBAGE TO BE STORED INTERNALLY & UNLOADED IN REAR TRUCK COURT AT TIME OF PRIVATE GARBAGE PICK-UP.

ONTARIO BUILDING CODE DATA MATRIX PART 3		BUILDING CODE REFERENCE
3.00	BUILDING CODE VERSION	LAST AMENDMENT: 03/2014
3.01	PROJECT TYPE	NEW
3.02	MAJOR OCCUPANCY CLASSIFICATION	INDUSTRIAL
3.03	SUBMITTED OCCUPANCY	INDUSTRIAL
3.04	BUILDING AREA (M <sup>2</sup> )	GROUND FLOOR: 2,273.12 2ND FLOOR: 2,273.12 3RD FLOOR: 1,038.74 TOTAL: 5,584.98
3.05	GROSS AREA (M <sup>2</sup> )	GROUND FLOOR: 2,273.12 2ND FLOOR: 2,273.12 3RD FLOOR: 1,038.74 TOTAL: 5,584.98
3.06	MEZZANINE AREA (M <sup>2</sup> )	NOT APPLICABLE
3.07	BUILDING HEIGHT	3 STOREY ABOVE GRADE
3.08	NUMBER OF STOREY TYPE FIRE FIGHTER ACCESS	2 STOREY BELOW GRADE
3.10	BUILDING CLASSIFICATION	GROUP F2
3.11	PRIMARY SYSTEM	REQUIRED
3.12	STAIRCASE SYSTEM	REQUIRED
3.13	FIRE ALARM SYSTEM	REQUIRED
3.14	WATER SUPPLY	REQUIRED
3.15	CONSTRUCTION TYPE	NON-COMBUSTIBLE
3.16	PERFORMANCE CATEGORY	LOW HAZARD OCCUPANCY
3.17	SEISMIC HAZARD INDEX	NO POST-EARTHQUAKE
3.18	OCCUPANT LOAD	BASED ON OCCUPANCY
3.19	SMOKE-FREE DESIGN	NO
3.20	HAZARDOUS SUBSTANCES	NO
3.21	REQUIRED FIRE RESISTANCE RATINGS	HORIZONTAL ASSEMBLY: 1HR FLOORS OVER BASEMENT: 1HR FLOORS: 1HR MEZZANINE: NA ROOF: NA
3.22	SPRINKLER SEPARATION	NA
3.23	PLUMBING FIXTURE REQUIREMENTS	NA
3.24	ENERGY EFFICIENCY	COMPLIANCE DATE: 2015
3.25	NOTES	

**DRAWING ISSUE**

DATE	PARTICULARS	BY
	Issued for Design Approval	
	Issued for Site Plan Approval	
	Issued for Pricing and Budgeting	
	Issued for Building Permit	
	Issued for Tendering	
	Issued for Construction	
	Issued for Record Set of Drawg.	

This drawing, as an instrument of service, is provided by and is the property of Venchiarutti Gagliardi Architect Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Venchiarutti Gagliardi Architect Inc. of any variations from the supplied information.

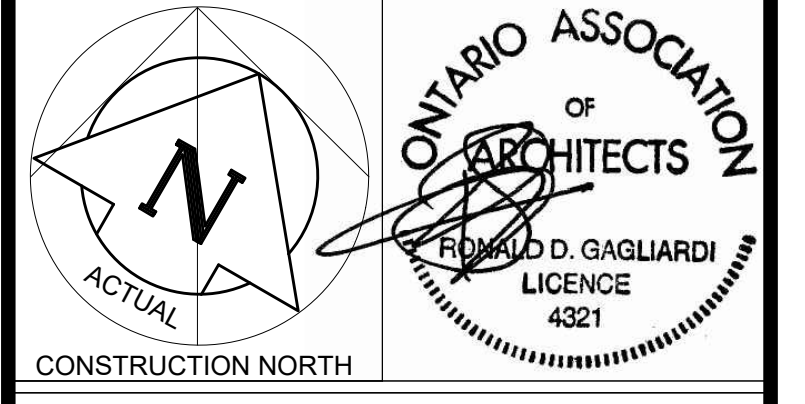
Venchiarutti Gagliardi Architect Inc. is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with the work.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction. This drawing is not to be scaled.

Venchiarutti Gagliardi Architect Inc. is not responsible for any environmental conditions, geotechnical conditions or any pollutants found on site.

All architectural symbols indicated are graphic representations only.

This drawing is not to be used for construction purposes until the architectural seal is signed by the Architect of Record.



**VGA** Venchiarutti Gagliardi Architect Inc.  
2551 John Street, Unit 13, Markham, ON L3R 2W5  
T 905-477-1065 F 905-477-1067  
www.vgarch.net

**PROJECT**

**PROPOSED INDUSTRIAL DEVELOPMENT**

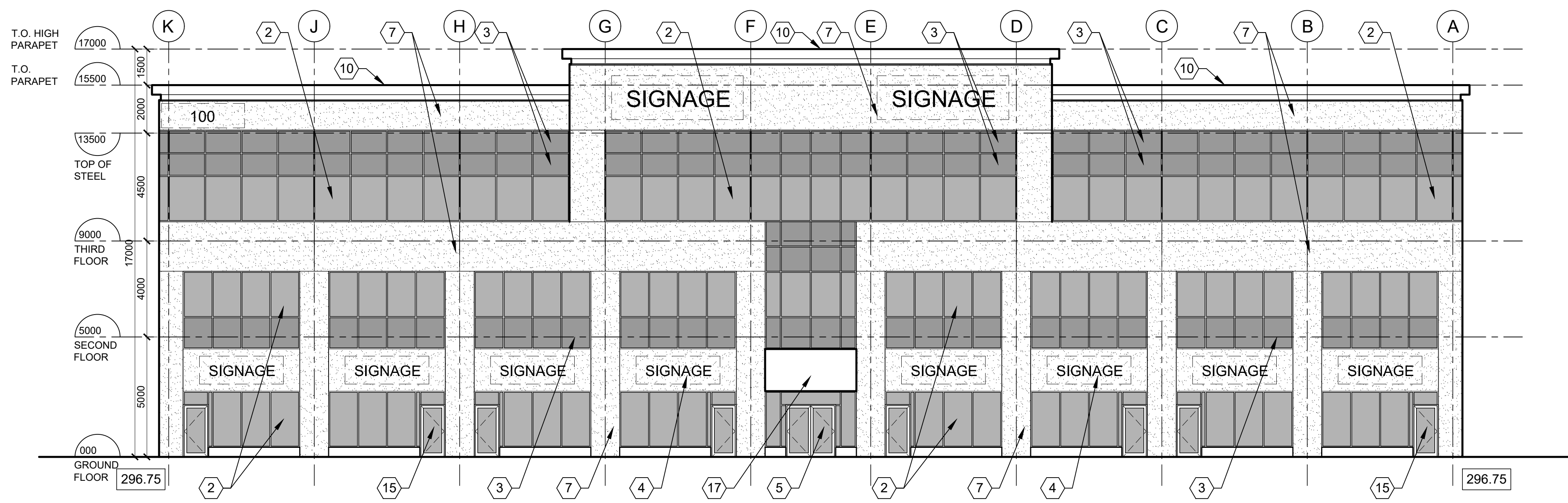
100 GOULDING AVENUE  
AURORA, ONTARIO

**DRAWING NAME**  
SITE PLAN  
CITY FILE #

SCALE	DATE OF DWG	PROJECT NO.
1:250	NOV. 23, 2023	22010
DRAWN BY	SHEET NO.	
DWL	A-100	
CHKD BY		SPA
RDG		

**2 SITE DETAIL**  
SCALE: N.T.S.

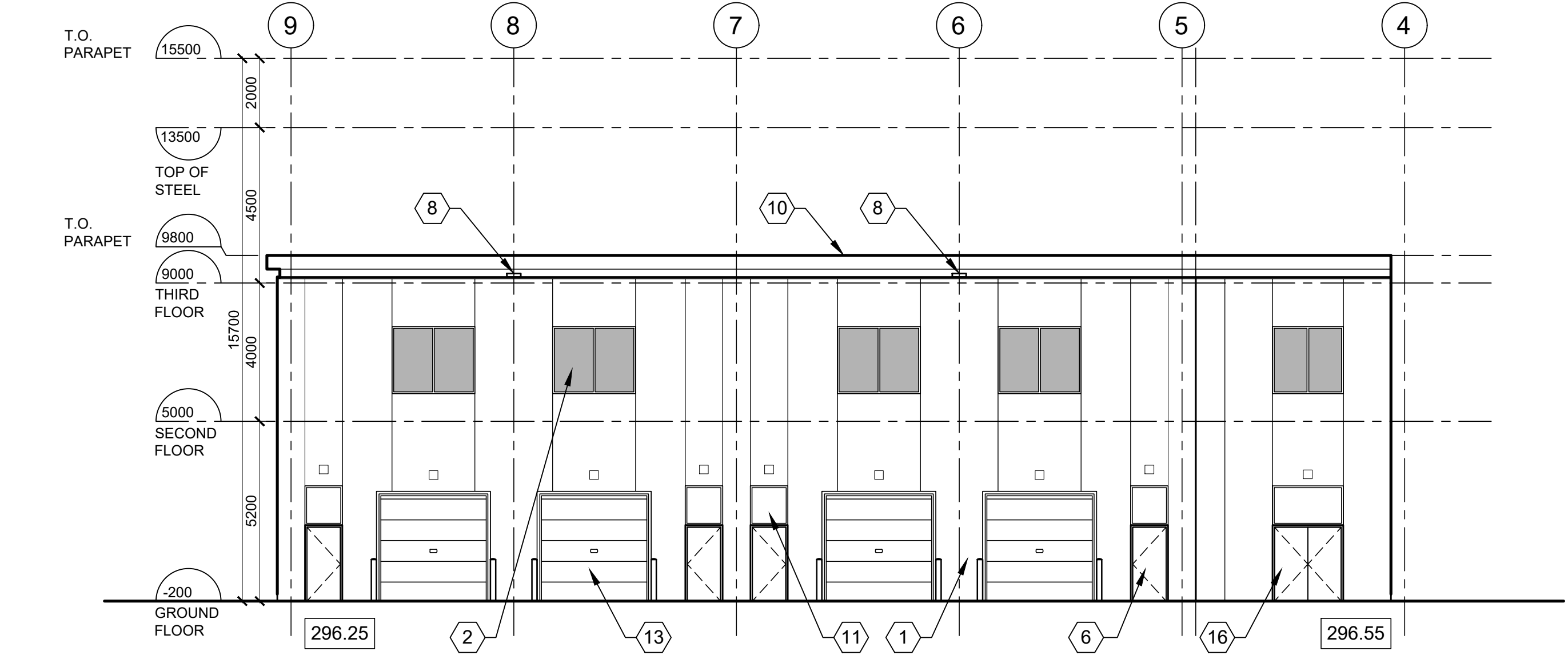
**1 SITE PLAN**  
SCALE: 1:250



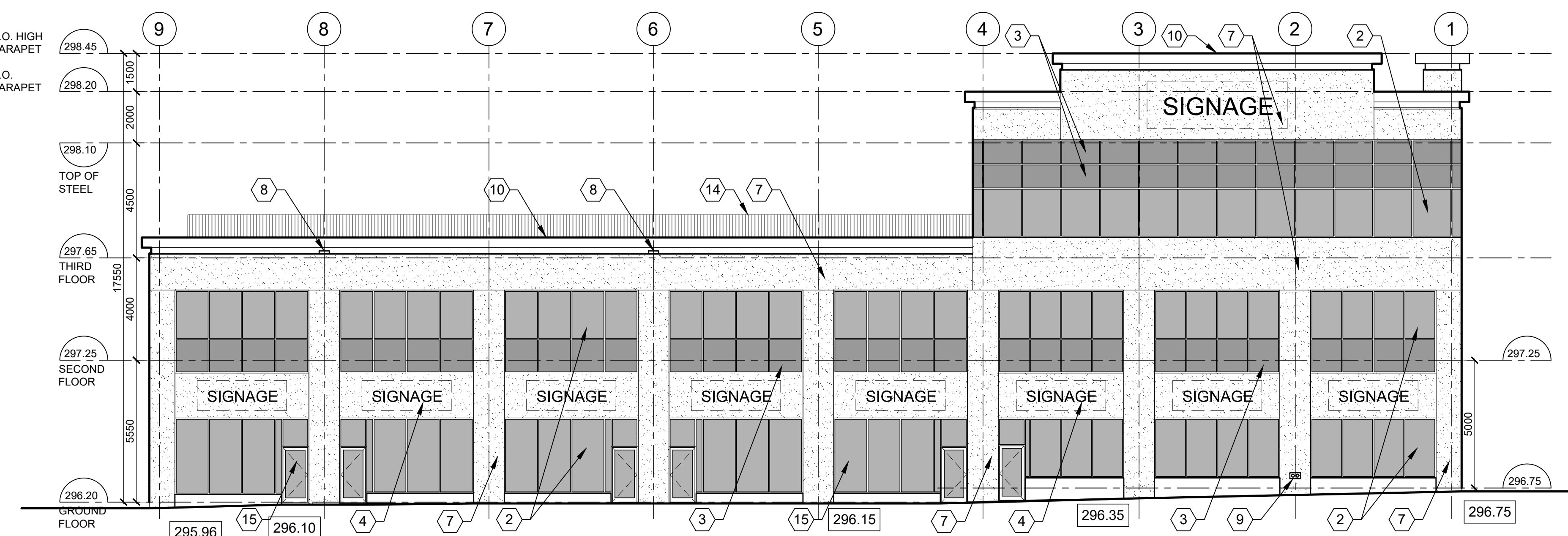
1 BLDG 'A' - EAST ELEVATION  
A-300 SCALE: 1:200

PRODUCT: FEATHER FRIENDLY BY 3M  
DOT SIZE: 5mm (MINIMUM)  
HORIZONTAL SPACING LESS THAN 50mm ON CENTER  
WINDOW FILM SHALL BE APPLIED ON THE EXTERIOR SURFACE OF GLASS

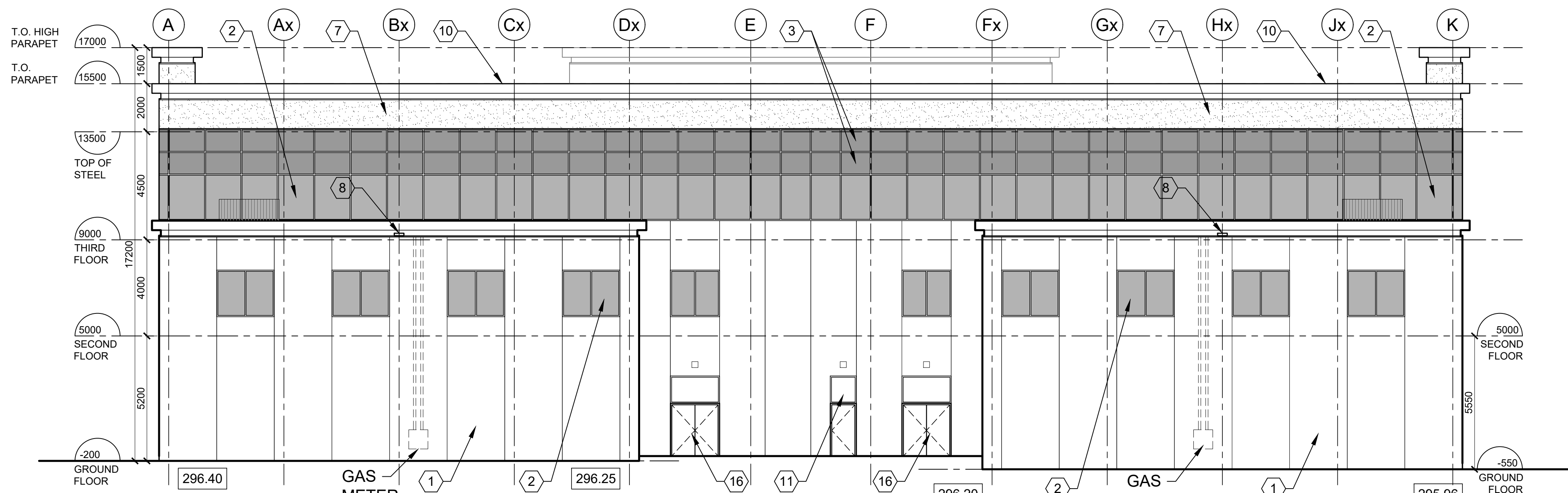
**NOTES:**  
1. ALL ROOF TOP HVAC UNITS ARE LOCATED BEHIND HIGH PARAPETS & ARE NOT VISIBLE.  
2. ALL DOORS EQUIPPED W/ 180 DEG. PEEP HOLE VIEWER.  
3. PLYWOOD BACKING FOR SIGNAGE (SHOWN DOTTED).



2 BLDG 'A' - SOUTH ELEVATION (TRUCK COURT)  
A-300 SCALE: 1:200

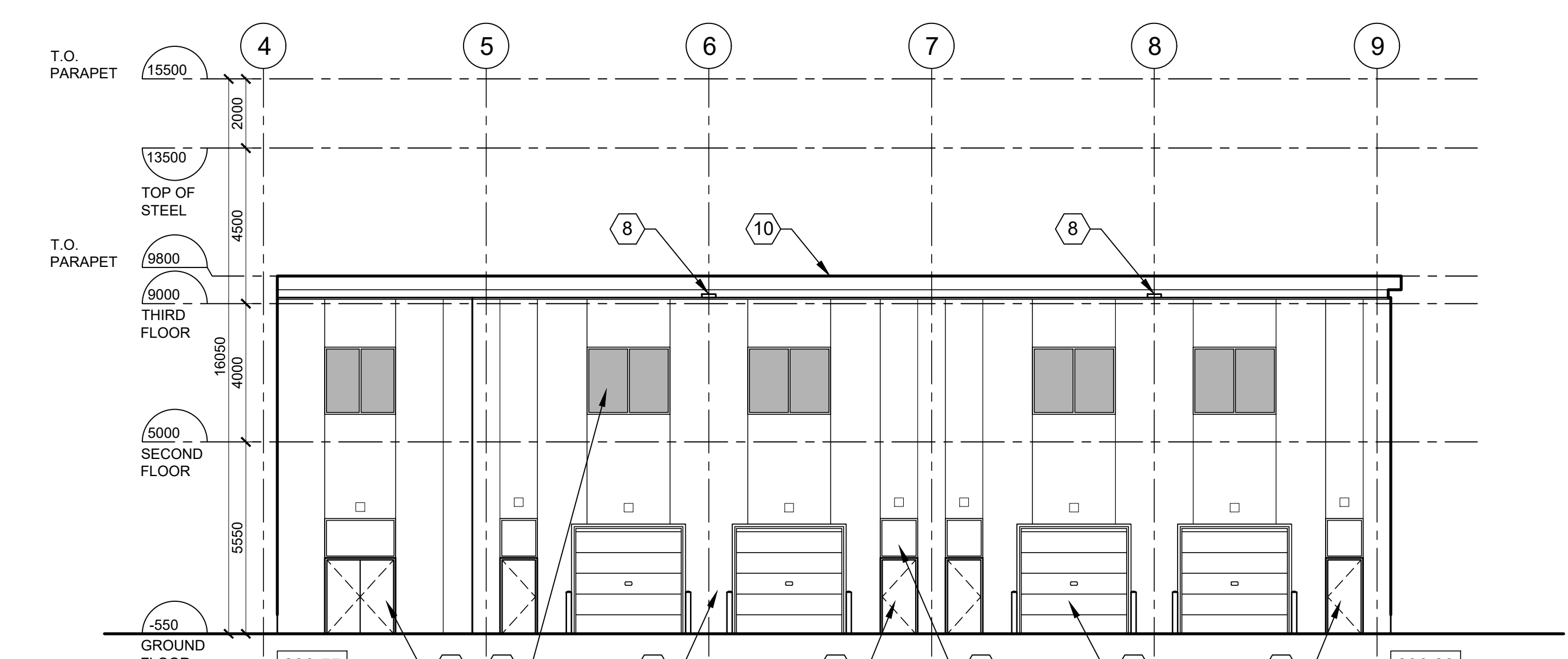


3 BLDG 'A' - SOUTH ELEVATION  
A-300 SCALE: 1:200

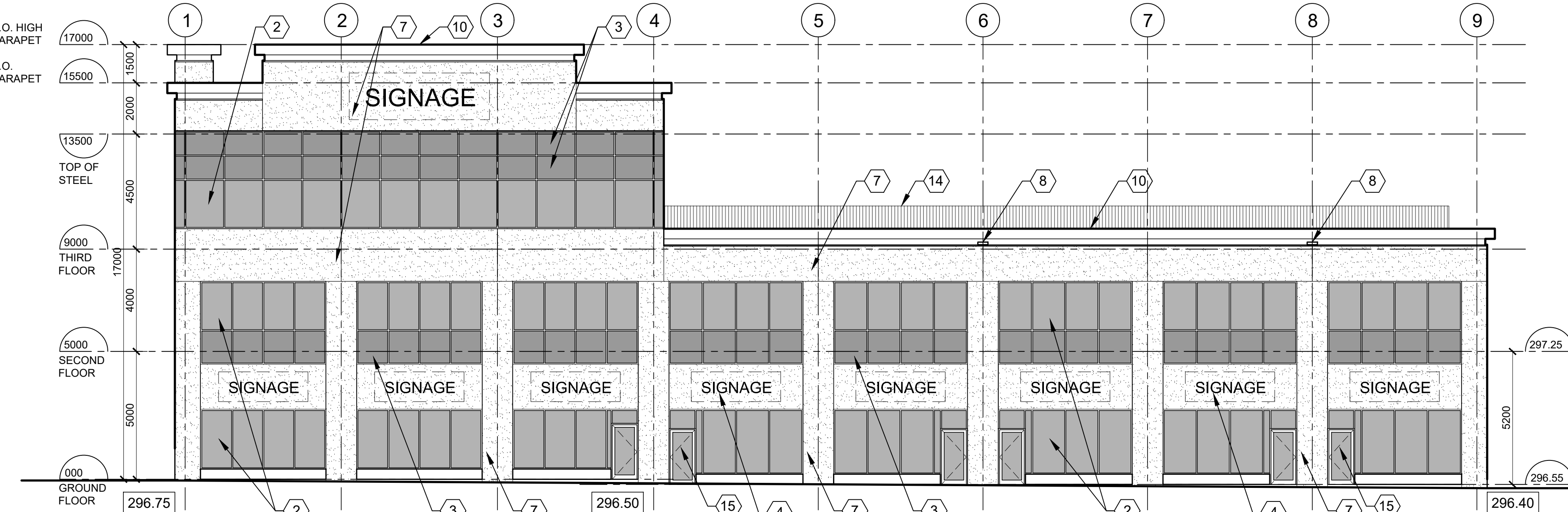


4 BLDG 'A' - WEST ELEVATION  
A-300 SCALE: 1:200

**BIRD FRIENDLY BUILDING CHECKLIST**  
Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.  
**MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS At Grade Condition (check to confirm the below is applied)**  
 Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m<sup>2</sup> and within 16m from finished grade.  
 Development contains no glass panel within 16m from roof level finished grade.  
**Roof Landscape Condition (check to confirm one of the below is applied)**  
 Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m<sup>2</sup> and within 16m from roof level finished grade.  
 Development contains no glass panel within 16m from roof level finished grade.  
**Patterns (check to confirm one or more of the below are applied)**  
 Stripes  
Horizontal strip spacing is less than 5cm on centre; vertical strip spacing is less than 10cm on centre; horizontal strips widths are greater than 3.1mm; and vertical strips widths are greater than 6.1mm.  
 Dots  
Dot size is larger than 5mm; horizontal strip spacing is less than 5cm on centre; and vertical strip spacing is less than 10cm on centre.  
**Specifications (check to confirm one or more of the below is applied)**  
 Pattern is applied as fritting or etching of glass; and pattern colour are high contrast in relation to the background.  
 Pattern is applied as film on exterior surface of glass; and pattern colour are high contrast in relation to the background.



5 BLDG 'A' - NORTH ELEVATION (TRUCK COURT)  
A-300 SCALE: 1:200



6 BLDG 'A' - NORTH ELEVATION  
A-300 SCALE: 1:200

**EXTERIOR MATERIALS & FINISHES:**

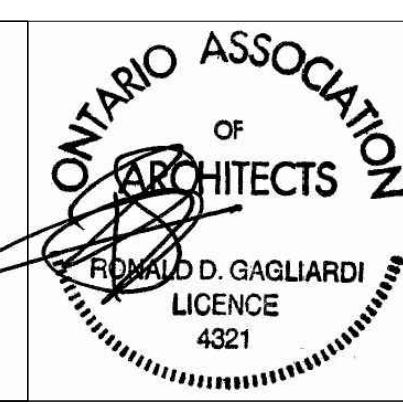
- (1) PRE-CAST PANELS - WHITE AGGREGATE
- (2) LIGHT CHARCOAL TINT (VISION) WINDOW IN ANCO. ALUM.
- (3) DARK CHARCOAL TINT (SPANDREL) WINDOW IN ANCO. ALUM.
- (4) SIGNAGE BY TENANT
- (5) DOUBLE 814 x 2134 CLEAR ANCO. ALUM. ENTRANCE DOORS CW TAMPED GLASS W/ AUTOMATIC DOOR OPERATOR
- (6) 965 x 2134 H.M. DOOR & FRAME (PAINTED WHITE)
- (7) ARCHITECTURAL PRE-CAST PANELS - WHITE AGGREGATE FINISH (MEDIUM SANDBLAST)
- (8) ROOF SCUPPER
- (9) FIRE DEPARTMENT CONNECTION
- (10) COMPOSITE ALUMINUM PANEL
- (11) WALL PACK LIGHTING
- (12) ROOF TOP UNIT
- (13) 3048 x 3048 SECTIONAL OVERHEAD DOOR - WHITE
- (14) ROOF TOP SCREEN
- (15) 965 x 2134 CLEAR ANCO. ALUM. ENTRANCE DOORS CW TAMPED GLASS W/ AUTOMATIC DOOR OPERATOR
- (16) 2 - 488 x 2134 H.M. DOOR & FRAME (PAINTED WHITE)
- (17) CLEAR ANODIZED ALUMINUM CANOPY

NO.	DATE	REVISIONS	BY

**DRAWING ISSUE**

DATE	PARTICULARS	BY

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T 905-477-1065 F 905-477-1067  
www.vgaarch.net

PROJECT  
**PROPOSED INDUSTRIAL DEVELOPMENT**  
100 GOULDING AVENUE  
AURORA, ONTARIO

DRAWING NAME ELEVATIONS		PROJECT NO. 22010
CITY FILE #		SCALE 1:125
DRAWN BY DWL	SHEET NO. A-300	DATE OF DWG. OCT. 31, 2023
CHKD BY RDG	SPA	PROJECT NO. 22010

LAST PLOTTING DATE: OCT. 31, 2023



# TOWN OF AURORA COMMITTEE OF ADJUSTMENT REQUEST FOR DECISION

Meeting Date: \_\_\_\_\_ Agenda Item Number: \_\_\_\_\_

Application Name: \_\_\_\_\_

File Number(s): \_\_\_\_\_

## IMPORTANT NOTICE

You must complete this form and submit it to the Secretary-Treasurer to ensure your name and address are accurately noted for future notification.

This meeting is your opportunity to voice any opinions or comments you may have regarding an Application for approval of a Minor Variance/Permission or Consent. Under the *Planning Act*, for a Minor Variance and Permission, Section 45(10) states that the Secretary-Treasurer shall send one copy of the decision, to each person or public body who appeared in person or by counsel at the hearing AND who filed with the Secretary-Treasurer a written request for Notice of the Decision. For Consent, Section 53(17) states that if the Committee gives or refuses to give provisional Consent, the Committee shall ensure written Notice of the Decision is given to each person or public body that made a written request to be notified of decision or conditions.

**NOTE:** Due to COVID-19, all Request for Decisions shall be emailed to Peter Fan, Secretary-Treasurer, at [pfan@aurora.ca](mailto:pfan@aurora.ca).

**Please print clearly and provide information requested below.**

Name: \_\_\_\_\_  
(MR./MRS./MS) (First) (Last)

Address: \_\_\_\_\_  
\_\_\_\_\_

Municipality: \_\_\_\_\_ Postal Code: \_\_\_\_\_  
(Must Be Provided)

Telephone: Residence \_\_\_\_\_ E-Mail: \_\_\_\_\_  
Business \_\_\_\_\_ E-Mail: \_\_\_\_\_

**Notice of Decision and/or future consideration of this Committee of Adjustment Application will be provided by E-Mail.**

**NOTE: Notice of this meeting was given by mail to all owners within 120 metres (400 feet) of the subject lands**

Personal information on this form is collected under the legal authority of the *municipal act*, R.S.O.1990, and C.M.45, as amended. This information will be used for the purposes of sending correspondence relating to matters before council. The information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to section 27 of the *municipal freedom of information and protection of privacy act*, R.S.O. 1990, C.M.56, as amended. Questions about this collection should be directed to the town clerk, town of aurora, 100 john west way, box 1000, aurora, Ontario, l4g 6j1, telephone: 905-727-4771