



**NOTICE OF PUBLIC HEARING
MINOR VARIANCE**

Pursuant to Section 45(5) of *The Planning Act*

FILE NUMBER: MV-2024-05

APPLICANT: Ambria (Bloomington) Limited - c/o Paula Agostino

PROPERTY: 101 Calla Trail

**RELATED
APPLICATIONS:** n/a

ZONING: R3(523) (*Detached Third Density Residential Exception Zone*)

PURPOSE: A Minor Variance Application has been submitted to facilitate an increase in building height

**THE FOLLOWING
VARIANCES ARE
REQUIRED:**

- 1) Section 24.523.2.2 of the Zoning By-law permits a maximum height of 10.0 metres.
 - a) The applicant is proposing a two-storey detached dwelling with a height of 10.10 metres.

A Location Map and Site Plan illustrating the request are attached. This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

DATE:	March 7, 2024
TIME:	7:00 p.m.
LOCATION:	Electronic Meeting (Please visit https://www.youtube.com/user/Townofaurora2012 for live stream of the meeting)

NOTE: Committee of Adjustment meetings will be held electronically and may be viewed via live stream. Please visit the Town’s website for further details.

You may express your views about this Application, for consideration by the Committee, in the following ways:

- i) **Participate in the electronic meeting as a live delegate.** Please send a delegation request to the Secretary–Treasurer, Peter Fan, at PFan@aurora.ca **no later than 4:30pm on March 5, 2024** Once the request has been received, instructions will be provided on how to make your delegation during the electronic meeting.

The Delegation Request form is located on the Town website: <https://webforms.aurora.ca/Your-Government/Committee-of-Adjustment-Delegation-Request-Form>

- ii) **Provide written comments.** Please email your comments to the Secretary – Treasurer, Peter Fan, at PFan@aurora.ca **no later than 12:00pm (noon) on March 7, 2024** Alternatively, comments may be mailed to Town Hall at the address below. Please note, mailed comments must be received by the Town prior to the meeting in order to be considered by the Committee.

*Town of Aurora
100 John West Way, Box 1000
Aurora, ON L4G 6J1*

If you wish to be notified of the Decision with respect to this Application, you must complete the enclosed “Request for Decision” form. The form can also be found at <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Request-for-Decision--Fillable.pdf>. This form is to be emailed to PFan@aurora.ca **no later than 4:30pm on March 7, 2024**.

If you receive this notice as an owner of land containing seven or more residential units, please post this notice in a location that is visible to all property residents.

Should you have any questions regarding this application, please contact Peter Fan at PFan@aurora.ca or at **(905) 726-4711**

Personal Information Collection Notice

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990, Chapter c.P.13*, as amended. Your comments in respect to this Application will become part of the decision making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56*, as amended, (*the "Act"*) public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with *the Act*. Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 21st DAY OF February 2024



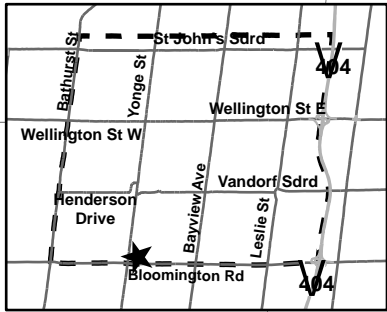
Peter Fan
Secretary-Treasurer/Assistant Planner
Committee of Adjustment

ATTACHMENTS

- Attachment 1 – Location Map
- Attachment 2 – Site Plan
- Attachment 3 – Request for Decision

Agenda packages will be available prior to the Hearing at:

<https://www.aurora.ca/agendas>



Yonge Street

50

13759

Bloomington Road

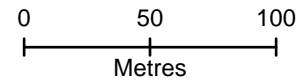
Old Bloomington Road

Bloomington Road

City of Richmond Hill

LOCATION MAP
AMBRIA (BLOOMINGTON) LIMITED - LOT 25
FILE: MV-2024-05
TOWN OF AURORA
COMMITTEE OF ADJUSTMENT

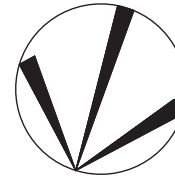
 **SUBJECT LANDS**



**TOWN OF AURORA
PLANNING & DEVELOPMENT SERVICES
BUILDING DIVISION**

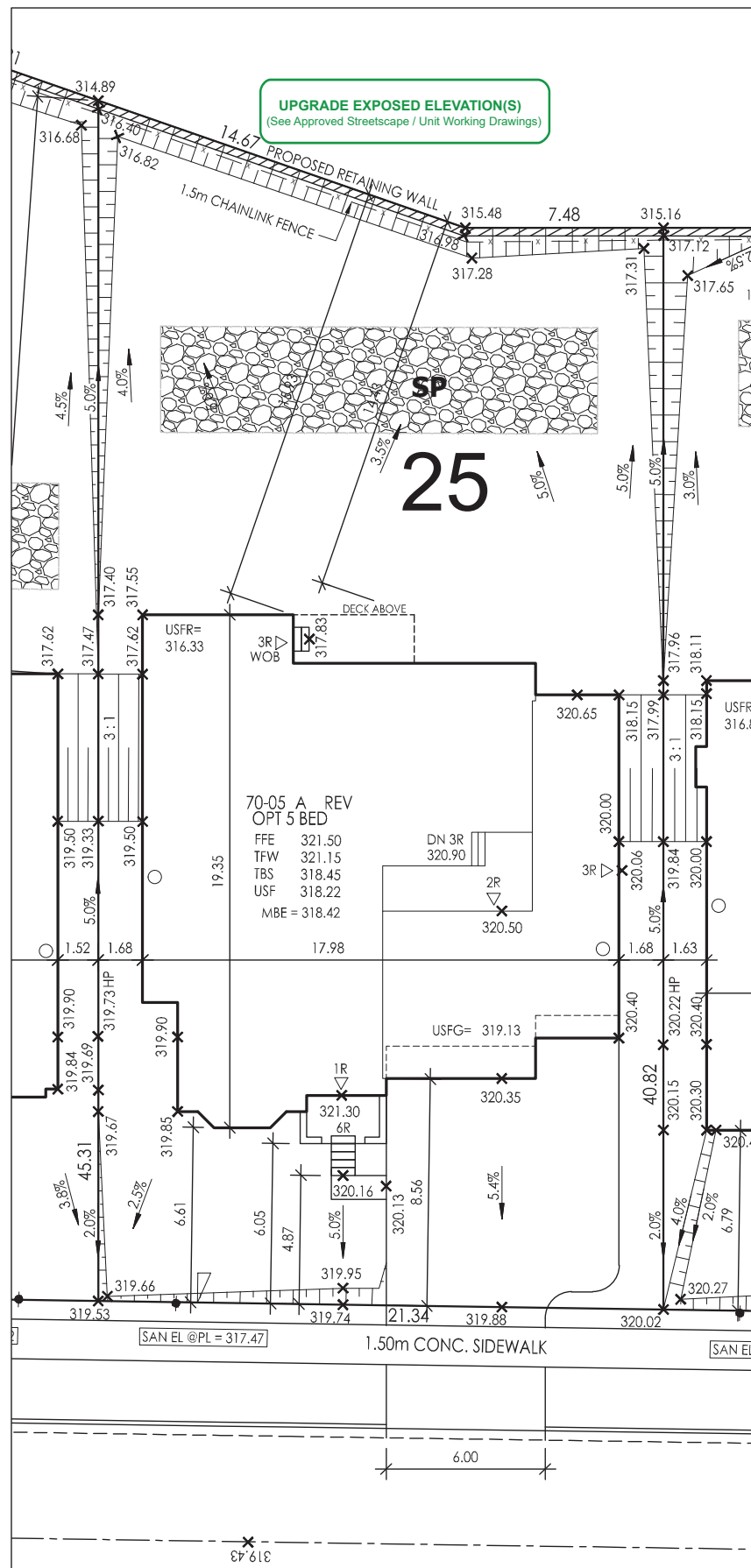
PERMIT NO.: PR20240036 DATE: Jan. 12, 2024

**APPROVED BY: *Melissa Bozanin*
PRELIMINARY ZONING REVIEW**



NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS	
REG. PLAN No.	
ZONE	R3(523)
LOT NUMBER	LOT 25
LOT AREA(m) ²	901.08
BLDG AREA(m) ²	287.85
LOT COVERAGE(%)	31.95%
No. OF STOREYS	2
MEAN HEIGHT(m)	10.30
PEAK HEIGHT(m)	NA
LANDSCAPE AREA(%)	58.47%



LEGEND	
FFE FINISHED FLOOR ELEVATION	SP SUMP PUMP
TFS TOP OF FOUNDATION WALL	BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	CABLE PEDESTAL
USF UNDER SIDE FOOTING	CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	DBL. CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	ENGINEERED FILL
TEF TOP OF ENGINEERED FILL	HYDRO CONNECTION
R NUMBER OF RISERS TO GRADE	FIRE HYDRANT
WOD WALKOUT DECK	STREET LIGHT
LOB LOOKOUT BASEMENT	MAIL BOX
WOB WALK OUT BASEMENT	TRANSFORMER
WUB WALK UP BASEMENT	SEWER CONNECTIONS 2 LOTS
REV REVERSE PLAN	SEWER CONNECTIONS 1 LOT
STD STANDARD PLAN	WATER CONNECTION
DOOR	WATER VALVE CHAMBER
WINDOW	HYDRANT AND VALVE
AC AIR CONDITIONING	HYDRO METER
DOWN SPOUT TO SPLASH PAD	GAS METER
DOWN SPOUT CONNECTED TO STM	MANHOLE - STORM
SWALE DIRECTION	MANHOLE - SANITARY
-X-	CHAINLINK FENCE
XX	PRIVACY FENCE
XXX	SOUND BARRIER
---	FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE

NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTOR TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	17-JULY-23	PP	RP
2	ISSUED FINAL	01-AUG-23	PP	-
3	REVISED PER ENG COMM	17-NOV-23	PP	ES

IMPORTANT FOOTING NOTE:	
-IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ADDITIONAL THICKNESS MAY BE REQUIRED.	
-LOT GRADING PLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 6".	
-IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:	
- UP TO 9" FOOTING, LOWER USF BY 0.07	
- 10" FOOTING, LOWER USF BY 0.10	
- 11" FOOTING, LOWER USF BY 0.13	
- 12" FOOTING, LOWER USF BY 0.15	
- 13" FOOTING, LOWER USF BY 0.18	
- 14" FOOTING, LOWER USF BY 0.20	

IMPORTANT FOOTING NOTE:
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- UP TO 9" FOOTING, LOWER USF BY 0.07
- 10" FOOTING, LOWER USF BY 0.10
- 11" FOOTING, LOWER USF BY 0.13
- 12" FOOTING, LOWER USF BY 0.15
- 13" FOOTING, LOWER USF BY 0.18
- 14" FOOTING, LOWER USF BY 0.20

RN DESIGN
WWW.RNDESIGN.COM
T:905-738-3177
WWW.THEPLUSGROUP.CA

I, ERIC SCHEIDNER DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 30840
FIRM BCIN: 26995
DATE: DEC-11-2023
SIGNATURE: *[Signature]*

CLIENT AMBRIA HOMES	
PROJECT/LOCATION MONTEVERDI AURORA	
DRAWING SITE PLAN	
DRAWN BY PP	SCALE 1:250
PROJECT No. 21027	LOT NUMBER LOT 25

LICENSED PROFESSIONAL ENGINEER
Michael Hall
M. E. HALL
90534686
NOV 28 2023
PROVINCE OF ONTARIO

CONDELAND ENGINEERING LIMITED
CONSULTING ENGINEERS, PLANNERS, PROJECT MANAGERS
APPROVED FOR LOT GRADING ONLY

- Notes:-**
- Soak-away pit locations are to be determined by the Builder and must be a minimum of 2 meters inside property lines and a minimum of 5 meters away from building foundations. Dimensions of pits are as indicated on this plan and must capture 50% of roof area drainage.
 - Builder to field verify as-constructed storm and sanitary connection inverts prior to any foundation excavation.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of AURORA.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: *[Signature]*
DATE: DEC 11, 2023
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

I, ERIC SCHNEIDER DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
QUALIFIED DESIGNER BCIN: 30840
FIRM BCIN: 26995
DATE: 22 SEPT 2023

E. Schneider
SIGNATURE:

GROSS GLAZING AREA-ELEV A

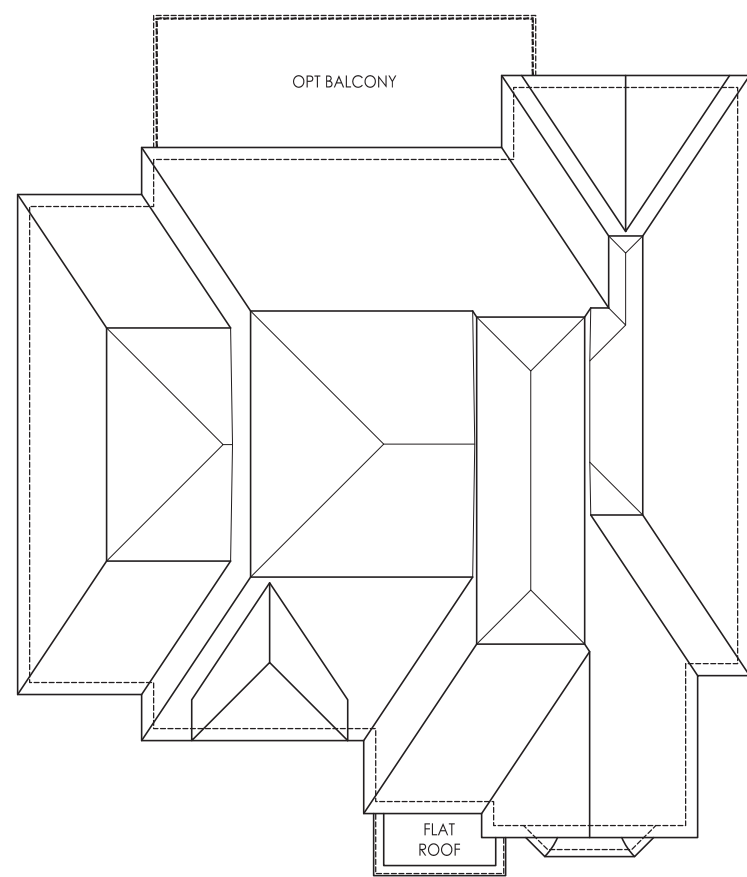
TOTAL PERIPHERAL WALL AREA	4974.38 SF	462.14 m ²
FRONT GLAZING AREA	209.50 SF	19.46 m ²
LEFT SIDE GLAZING AREA	73.56 SF	6.83 m ²
RIGHT SIDE GLAZING AREA	97.50 SF	9.06 m ²
REAR GLAZING AREA	322.83 SF	29.99 m ²

TOTAL GLAZING AREA	703.39 SF	65.35 m ²
TOTAL GLAZING PERCENTAGE	14.14 %	

GROSS GLAZING AREA-ELEV A-OPT 2ND FLR

TOTAL PERIPHERAL WALL AREA	4974.38 SF	462.14 m ²
FRONT GLAZING AREA	209.50 SF	19.46 m ²
LEFT SIDE GLAZING AREA	58.56 SF	5.44 m ²
RIGHT SIDE GLAZING AREA	97.50 SF	9.06 m ²
REAR GLAZING AREA	337.83 SF	31.39 m ²

TOTAL GLAZING AREA	703.39 SF	65.35 m ²
TOTAL GLAZING PERCENTAGE	14.14 %	

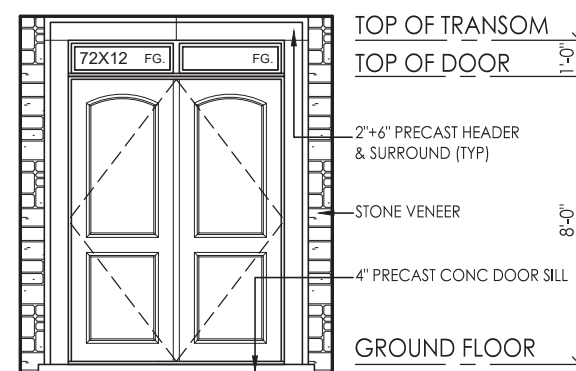


NOTE: ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO PART 9 OF THE OBC. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" OC WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER. AT EACH CROSS POINT, POSTS LONGER THAN 6' TO BE LATERALLY BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.
NOTE: REFER TO TRUSS DRAWINGS FOR APPROVED TRUSS LAYOUT
NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD
NOTE: REFER TO STREETSCAPES FOR POSSIBLE MINOR CHANGES DUE TO GRADING CONDITIONS

ROOF PLAN ELEV 'A'



FRONT ELEVATION 'A'



INTERIOR ELEVATION @ PORCH

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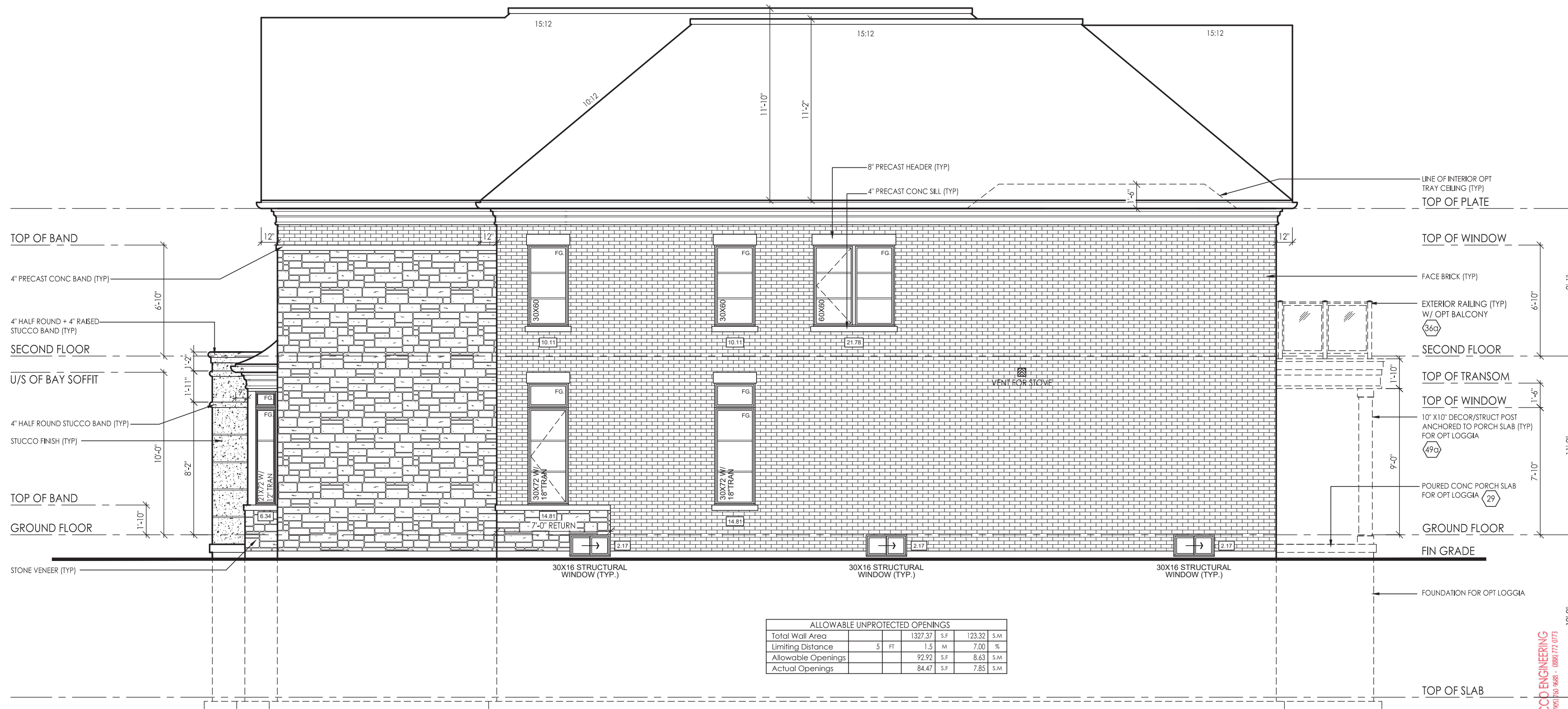
#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	08-Apr-22	KK	ES
7	ISSUED FOR PERMIT	22-Sep-23	ES	ES
10	REVISED ROOF PER CLIENT REQUEST	8-Nov-23	ES	ES

PROFESSIONAL ENGINEER
A.R. Khan
100231755
PROVINCE OF ONTARIO
STRUCTURAL ONLY

client	Ambría Homes
project	Monteverdi Estates Aurora
model	70-05 CAMPANIA
project #	21027
scale	3/16" = 1'-0"
page	

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QUALIFIED DESIGNER BCIN: 30840
FIRM BCIN: 26995
DATE: 22 SEPT 2023

E. Schneider
SIGNATURE:



ALLOWABLE UNPROTECTED OPENINGS				
Total Wall Area	1327.37	S.F.	123.32	S.M.
Limiting Distance	5 FT	1.5 M	7.00	%
Allowable Openings	92.92	S.F.	8.63	S.M.
Actual Openings	84.47	S.F.	7.85	S.M.

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD.
NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION.

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APPROVED BY: *[Signature]*
DATE: **NOV 14, 2023**
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#	revisions	date	dwn	chk
1	ISSUED FOR CLIENT REVIEW	08-Apr-22	KK	ES
2	INCREASED WINDOW SIZES PER CLIENT REQUEST	24-Oct-22	ES	ES
6	REVISED REAR DOOR PER CLIENT REQUEST	13-Sep-23	DR	ES
7	ISSUED FOR PERMITS	22-Sep-23	ES	ES
10	REVISED ROOF PER CLIENT REQUEST	8-Nov-23	ES	ES

PICCO ENGINEERING
14-1965/160-8681 - (888) 772-0773
PROFESSIONAL ENGINEER
A.R. Khan
100231755
PROVINCE OF ONTARIO
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2023-11-10

client	Ambria Homes
project	Monteverdi Estates Aurora
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scale	3/16" = 1'-0"
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REAR ELEVATION 'A'
NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12\"/>

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PROFESSIONAL ENGINEER
A.R. Khan
100231755
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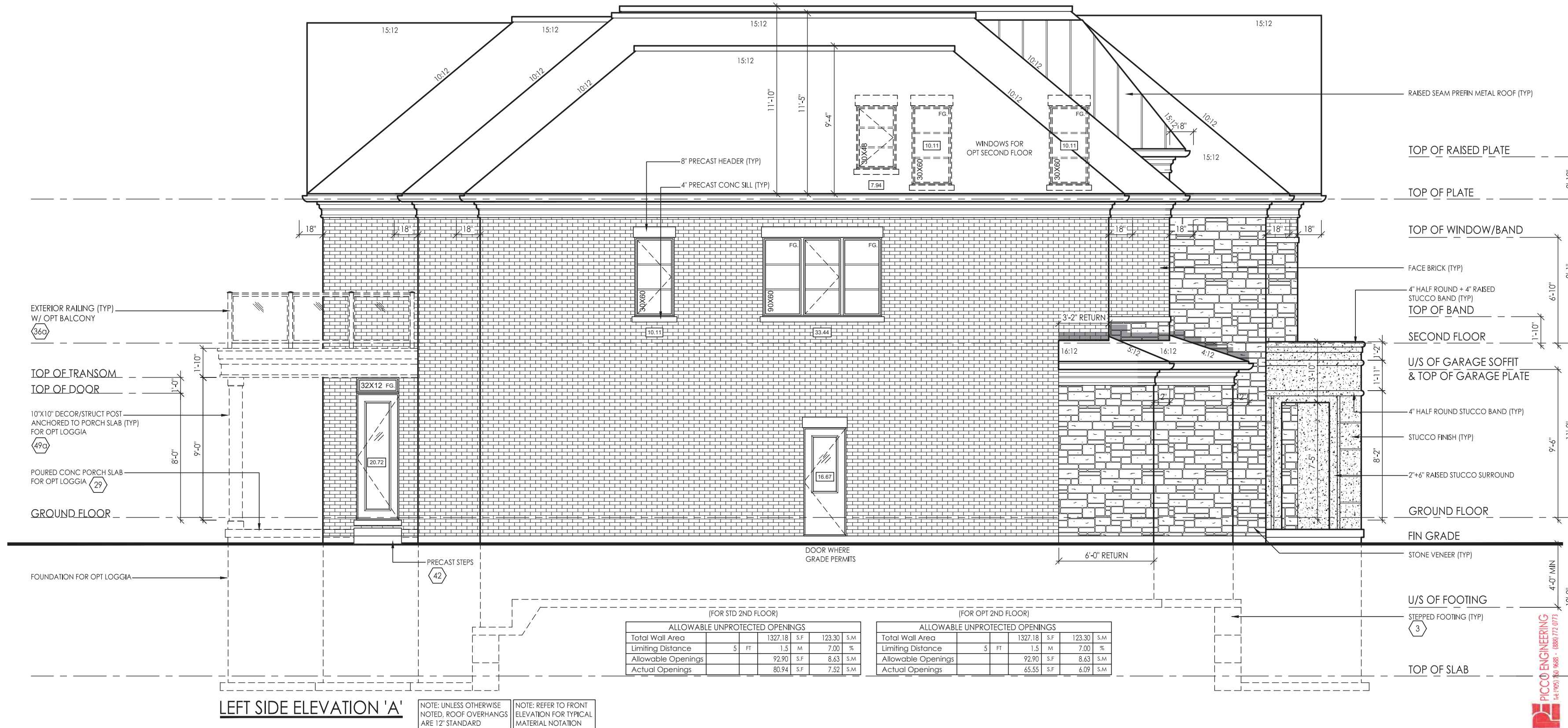
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2023-11-10

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model	70-05 CAMPANIA
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10	REVISED ROOF PER CLIENT REQUEST	8-Nov-23	ES	ES

ALLOWABLE UNPROTECTED OPENINGS (FOR STD 2ND FLOOR)					ALLOWABLE UNPROTECTED OPENINGS (FOR OPT 2ND FLOOR)				
Total Wall Area	1327.18	S.F.	123.30	S.M.	Total Wall Area	1327.18	S.F.	123.30	S.M.
Limiting Distance	5	FT	1.5	M	7.00	%	Limiting Distance	5	FT
Allowable Openings	92.90	S.F.	8.63	S.M.	Actual Openings	92.90	S.F.	8.63	S.M.
Actual Openings	80.94	S.F.	7.52	S.M.	Actual Openings	65.55	S.F.	6.09	S.M.

LEFT SIDE ELEVATION 'A'
NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD
NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

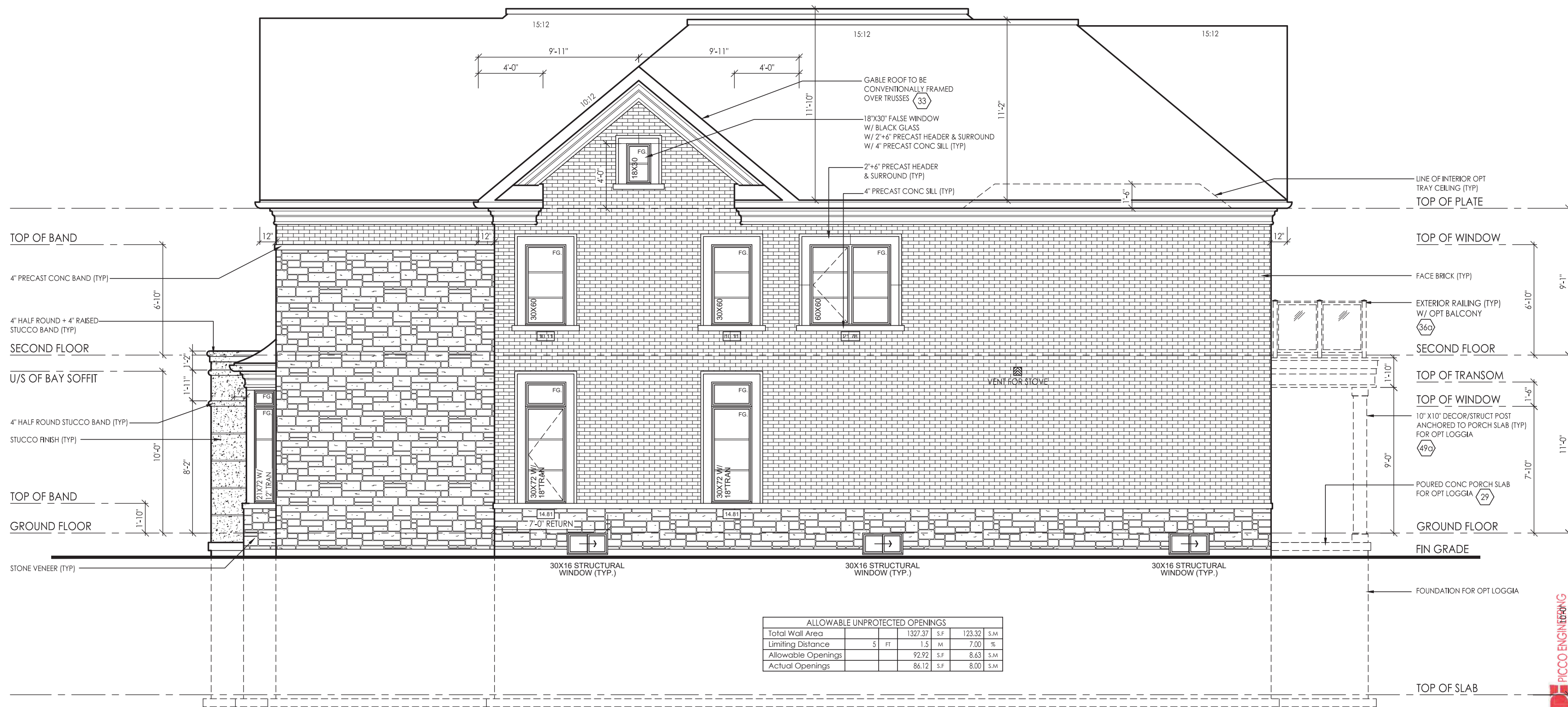
PICCO ENGINEERING
14 1965 160 8688 - 4888 172 0773
2023-11-10

PROFESSIONAL ENGINEER
A.R. Khan
100231755
PROVINCE OF ONTARIO
STRUCTURAL ONLY

client: Ambria Homes
project: Monteverdi Estates, Aurora
model: 70-05, CAMPANIA
project #: 21027
scale: 3/16" = 1'-0"
page:

I, ERIC SCHNEIDER DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD UNDER DIVISION C, PART 3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
QUALIFIED DESIGNER BCIN: 30840
FIRM BCIN: 26995
DATE: 08-NOV-2023

E. Schneider
SIGNATURE:



ALLOWABLE UNPROTECTED OPENINGS				
Total Wall Area	1327.37	S.F.	123.32	S.M.
Limiting Distance	5	FT	7.00	%
Allowable Openings	92.92	S.F.	8.63	S.M.
Actual Openings	86.12	S.F.	8.00	S.M.

UPGRADED RIGHT SIDE ELEVATION 'A'

NOTE: UNLESS OTHERWISE NOTED, ROOF OVERHANGS ARE 12" STANDARD

NOTE: REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL NOTATION

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DATE: **NOV 14, 2023**
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#	revisions	date	dwn	chk
9	ADDED SIDE UPGRADE ELEV 'A'	2-Nov-23	ES	ES

PROFESSIONAL ENGINEER
A.R. Khan
100231755
PROVINCE OF ONTARIO
STRUCTURAL ONLY

2023-11-10

client: **Ambria Homes**

project: **Monteverdi Estates
Aurora**

model: **70-05
CAMPANIA**

project #: **21027**

scale: **3/16" = 1'-0"**

page:



TOWN OF AURORA COMMITTEE OF ADJUSTMENT REQUEST FOR DECISION

Meeting Date: _____ Agenda Item Number: _____

Application Name: _____

File Number(s): _____

IMPORTANT NOTICE

You must complete this form and submit it to the Secretary-Treasurer to ensure your name and address are accurately noted for future notification.

This meeting is your opportunity to voice any opinions or comments you may have regarding an Application for approval of a Minor Variance/Permission or Consent. Under the *Planning Act*, for a Minor Variance and Permission, Section 45(10) states that the Secretary-Treasurer shall send one copy of the decision, to each person or public body who appeared in person or by counsel at the hearing AND who filed with the Secretary-Treasurer a written request for Notice of the Decision. For Consent, Section 53(17) states that if the Committee gives or refuses to give provisional Consent, the Committee shall ensure written Notice of the Decision is given to each person or public body that made a written request to be notified of decision or conditions.

NOTE: Due to COVID-19, all Request for Decisions shall be emailed to Peter Fan, Secretary-Treasurer, at pfan@aurora.ca.

Please print clearly and provide information requested below.

Name: _____
(MR./MRS./MS) (First) (Last)

Address: _____

Municipality: _____ Postal Code: _____
(Must Be Provided)

Telephone: Residence _____ E-Mail: _____
Business _____ E-Mail: _____

Notice of Decision and/or future consideration of this Committee of Adjustment Application will be provided by E-Mail.

NOTE: Notice of this meeting was given by mail to all owners within 120 metres (400 feet) of the subject lands

Personal information on this form is collected under the legal authority of the *municipal act*, R.S.O.1990, and C.M.45, as amended. This information will be used for the purposes of sending correspondence relating to matters before council. The information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to section 27 of the *municipal freedom of information and protection of privacy act*, R.S.O. 1990, C.M.56, as amended. Questions about this collection should be directed to the town clerk, town of aurora, 100 john west way, box 1000, aurora, Ontario, l4g 6j1, telephone: 905-727-4771