

**NOTICE OF PUBLIC HEARING
MINOR VARIANCE**

Pursuant to Section 45(5) of *The Planning Act*

FILE NUMBER: MV-2020-24

APPLICANT: Yu & Zhou

PROPERTY: 152 William Graham Drive
PLAN 65M4433 LOT 63

**RELATED
APPLICATIONS:** n/a

ZONING: R3(408) (*Detached Third Density Residential Exception Zone*)

PURPOSE: A Minor Variance Application has been submitted to facilitate a sunroom addition.

**BY-LAW
REQUIREMENT:**

- 1) Section 24.408.2.2 of the Zoning By-law allows a minimum rear yard setback of 7.0 metres for an addition.

PROPOSAL:

- a) The applicant is proposing a one-storey sunroom addition with a rear yard setback of 3.9 metres.

A Location Map and Site Plan illustrating the request are attached. This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

DATE:	December 10, 2020
TIME:	7:00 p.m.
LOCATION:	Electronic Meeting (Please visit https://www.youtube.com/user/Townofaurora2012 for live stream of the meeting)

NOTE: As a result of COVID-19, Town Hall and other Town facilities have been CLOSED to the public. During this time, Committee of Adjustment meetings will be held electronically and may be viewed via live stream. Please visit the Town’s website for further details.

You may express your views about this Application, for consideration by the Committee, in the following ways:

- i) **Participate in the electronic meeting as a live delegate.** Please send a delegation request to the Secretary–Treasurer, Brashanthe Manoharan, at BManoharan@aurora.ca **no later than 4:30pm on December 8, 2020.** Once the request has been received, instructions will be provided on how to make your delegation during the electronic meeting.

The Delegation Request form is located on the Town website: <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Delegation-Request-Form---Fillable.pdf>

- ii) **Provide written comments.** Please email your comments to the Secretary – Treasurer, Brashanthe Manoharan, at BManoharan@aurora.ca **no later than 12:00pm (noon) on December 10, 2020.** Alternatively, comments may be mailed to Town Hall at the address below. Please note, mailed comments must be received by the Town prior to the meeting in order to be considered by the Committee.

*Town of Aurora
100 John West Way, Box 1000
Aurora, ON L4G 6J1*

If you wish to be notified of the Decision with respect to this Application, you must complete the enclosed “Request for Decision” form. The form can also be found at <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Request-for-Decision---Fillable.pdf>. This form is to be emailed to BManoharan@aurora.ca **no later than 4:30pm on December 11, 2020.**

If you receive this notice as an owner of land containing seven or more residential units, please post this notice in a location that is visible to all property residents.

Should you have any questions regarding this application, please contact Brashanthe Manoharan at BManoharan@aurora.ca or at **905-727-3123 Ext. 4223.**

Personal Information Collection Notice

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990, Chapter c.P.13, as amended.* Your comments in respect to this Application will become part of the decision making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56, as amended, (the “Act”)* public feedback to planning proposals is considered to be a public record and may be disclosed to

any individual upon request in accordance with *the Act*. Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 26th DAY OF NOVEMBER 2020



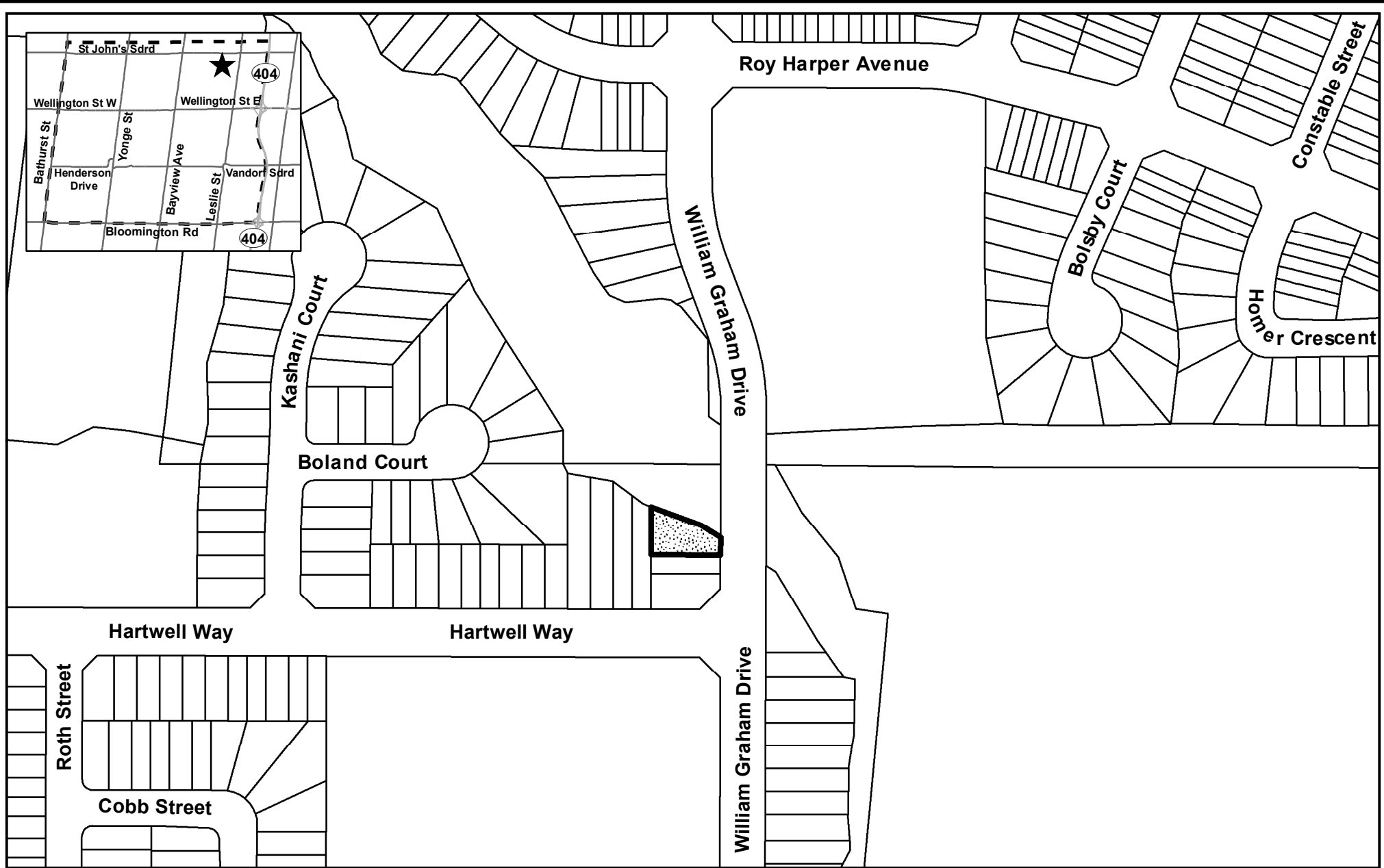
Brashanthe Manoharan
Secretary-Treasurer
Committee of Adjustment

ATTACHMENTS

Attachment 1 – Location Map
Attachment 2 – Site Plan
Attachment 3 – Request for Decision

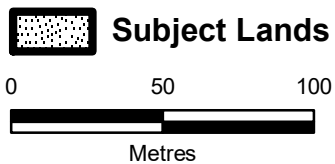
Agenda packages will be available prior to the Hearing at:

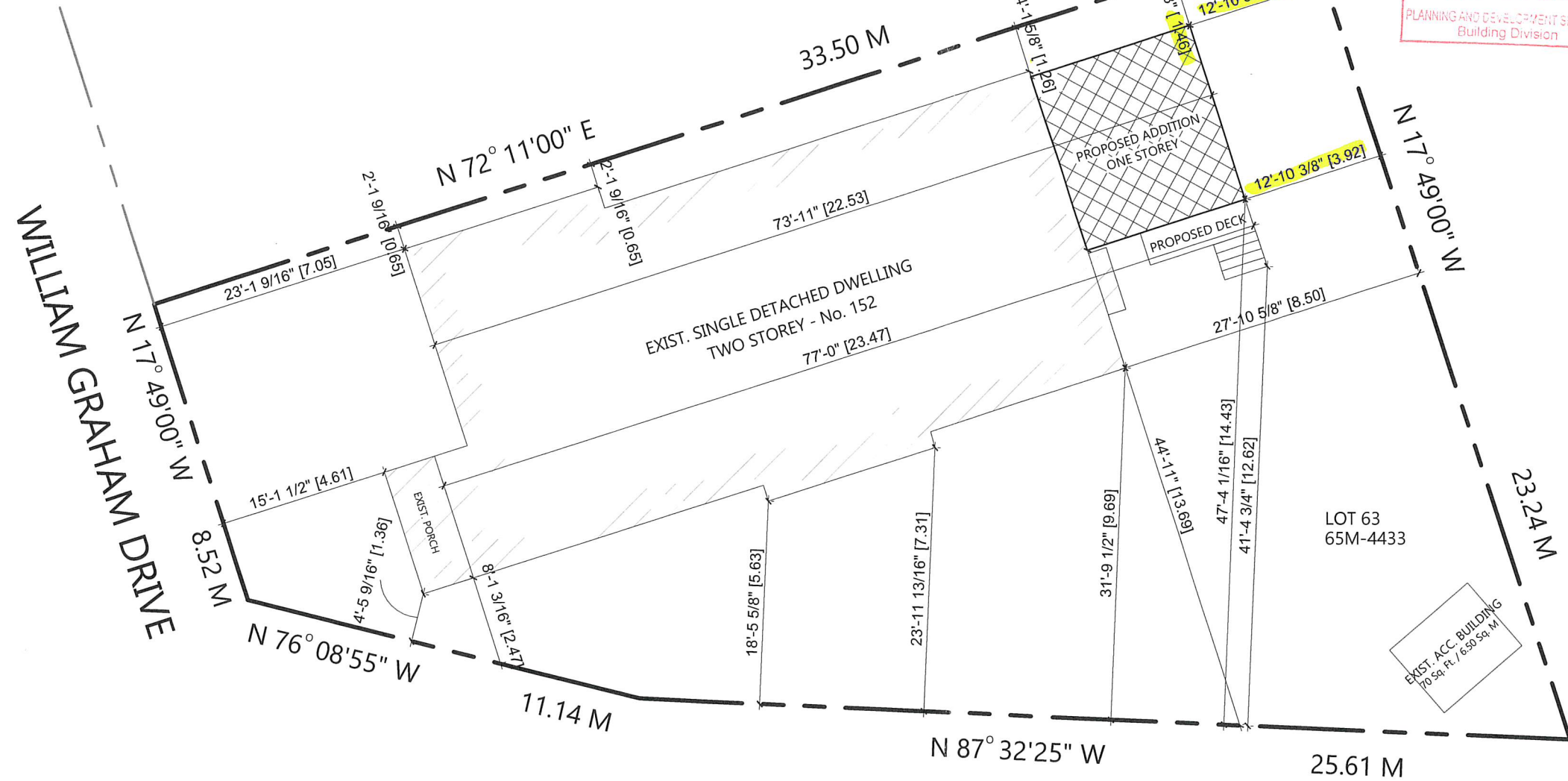
<https://www.aurora.ca/agendas>



KEY MAP

FILE NO: MV-2020-24
 ADDRESS: 152 WILLIAM GRAHAM DRIVE
 TOWN OF AURORA
 COMMITTEE OF ADJUSTMENT





Preliminary Zoning Review
 NOV 06 2020
 PLANNING AND DEVELOPMENT SERVICES
 Building Division

General Notes

- All construction shall comply with Ontario Building Code 2012, its subsequent revisions and authorities having jurisdiction. New specific materials and products have to be authorized by agencies like: Canadian Construction Materials Centre C.C.M.C. or Building Materials Evaluation Commission B.M.E.C. Manufacturer's items, materials and construction must comply with requirements of Canada Mortgage and Housing Corporation C.M.H.C.
- All lumber shall be No. 1 and 2, or better.
- All plywood shall be stamped exterior grade.
- Joists spanning more than 2100 mm are to have bridging at least every 2100 mm O.C.
- Contractor shall be responsible for verifying the locations of all existing above or below grade utilities and services. Applicable utilities shall be given required notice prior to any digging for stake out.
- Electrical facilities shall comply with O.B.C. 9.34. All electrical work shall be performed by a licensed electrician.
- Smoke Alarm installed at all levels, and in each bedroom.
- Carbon Monoxide Alarms installed at all levels adjacent to sleeping areas.
- Handrails shall be provided at all exterior stairs with more than three risers at height of 3'-0".
- Exterior guards shall be 3'-6" high. Guards shall be designed to prevent climbing and be provided around every surface with difference in elevation of more than 2'-0". Guards shall be anchored to the deck to resist uniformly distributed top rail load of 0.5 kN/m horizontal as well as 1kN/m applied at any point. O.B.C. 9.8.8.2.

No.	Revision/Issue	Date

Firm Name and Address
CMK
 Design
 6456 Main Street, Stouffville
 Ontario, L4A 5Z4
 (416) 795-3620

Project Name and Address
 YU
 152 GRAHAM DRIVE
 AURORA, ONTARIO
 L4G 7C4

Project 20-015	Sheet
Date 10.17.2020	SP1
Scale 1:150	

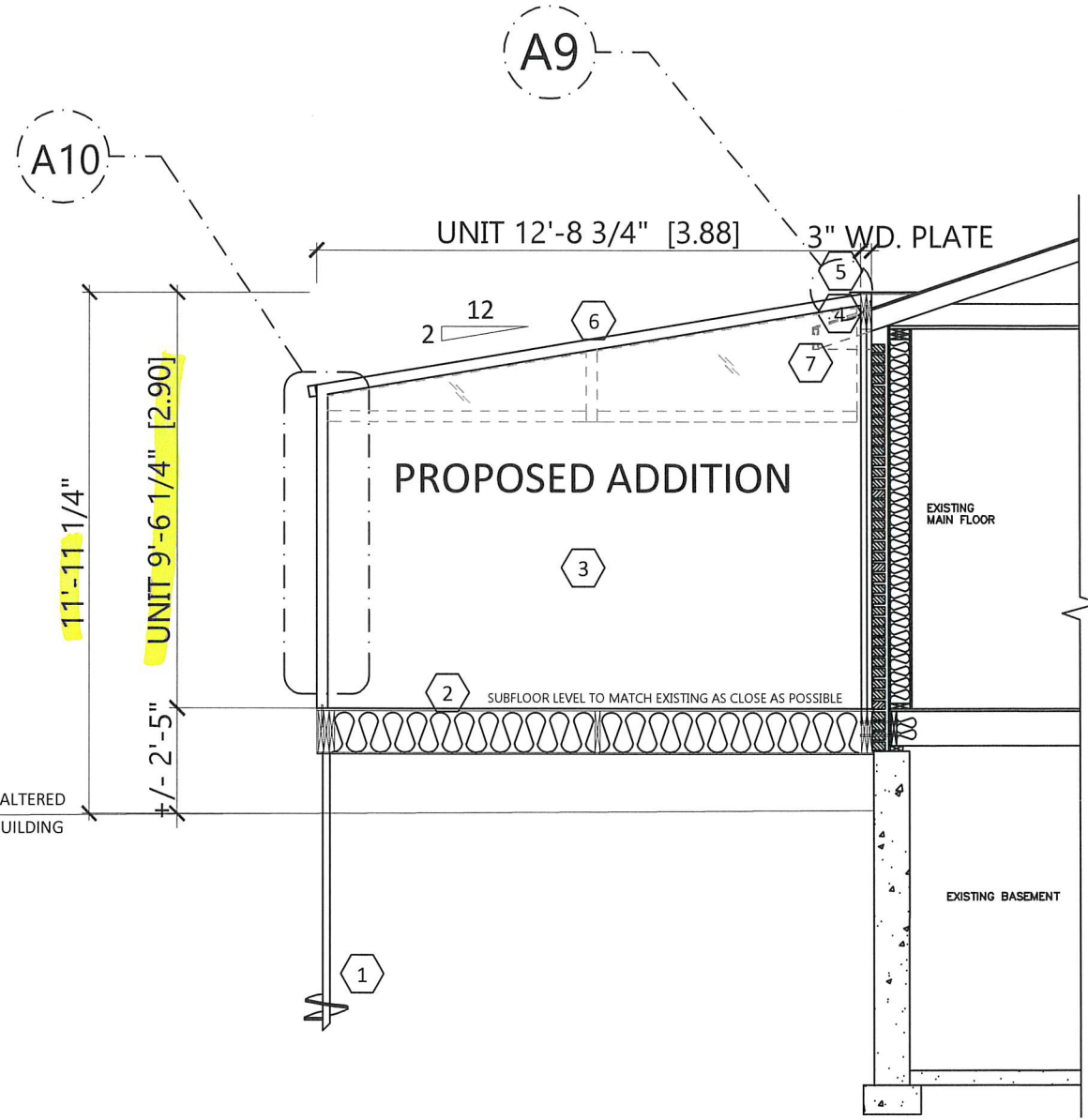
SITE STATISTICS - R3 (408)		
	REQUIRED / PERMITTED	PROVIDED
LOT AREA	300 Sq. M	560.10 Sq. M
LOT COVERAGE	N/A	EXIST. DWELLING = 1815.50 Sq. Ft. / 168.67 Sq. M ADDITION = 246.30 Sq. Ft. / 22.88 Sq. M ACC. BUILDING = 70.0 Sq. Ft. / 6.50 Sq. M TOTAL = 2131.80 Sq. Ft. / 198.05 Sq. M (35.36%)
FRONT YARD SETBACK	4.50 (MAIN BUILDING) 6.0 M (GARAGE)	4.61 M (MAIN BUILDING - EXIST.) 7.05 (GARAGE - EXIST.)
SIDE YARD SETBACK	0.6 M & 1.2 M	0.65 M & 1.36 M (EXIST.)
REAR YARD SETBACK	7.0 M	3.92 M
HEIGHT	11.0 M	+/- 10.75 M (EXIST.) 4.0 M (ADDITION)

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

NAME: CRISTIN MILLER
 SIGNATURE: *Cristin Miller*
 BCIN: 38262

SITE PLAN

Preliminary Zoning Review
 NOV 05 2020
 PLANNING AND DEVELOPMENT SERVICES
 Building Division



1 TECHNO POST FOUNDATION
 TECHNO METAL POST (AS PER ENGINEERED DRAWINGS INCLUDED)
 HELICAL PILE FOUNDATION SYSTEM -CCMC APPROVED
 MODEL #P2 - 2 3/8" DIA. POST
 MINIMUM 4'-0" BELOW GRADE ON UNDISTURBED GROUND
 MINIMUM 6" ABOVE GRADE - TYPICAL
 HELIX TO BE DETERMINED AT TIME OF INSTALLATION

INSTALLATION
 INSTALLATION TO BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT
 DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTY AND UTILITIES.
 GRADE TO REMAIN THE SAME.

2 FLOOR FRAMING
 5/8" T&G PLYWOOD SUBFLOOR SCREWED DOWN - SUBFLOOR LEVEL TO MATCH EXISTING AS CLOSE AS POSSIBLE
 2 - 2" x 10" LEDGER BOLT TO EXISTING WITH 3/8" LAG BOLTS @ MAX. 32" O.C.
 MIN. R 31 SPRAYFOAM INSULATION AND 6 MIL CONTINUOUS VAPOUR BARRIER
 3 - 2" x 10" PERIMETER BEAM POCKET INTO EXIST. MIN 4" BEARING ON FOUNDATION WALL.
 SPF # 2, 2" x 10" JOISTS @ 16" O.C. WITH BRIDGING @ MIDSPAN
 MIN. 1/2" P.T. PLYWOOD BENEATH

3 WALL CONSTRUCTION
 VERTICAL OR HORIZONTAL VINYL SIDING
 AIR BARRIER AND 3/4" EXTERIOR PLYWOOD SHEATHING
 DOUBLE TOP PLATE, SOLE BOTTOM PLATE
 2" x 6" WOOD STUDS @ 16" O.C.
 R 24 SPRAYFOAM INSULATION & 6 MIL CONTINUOUS VAPOUR BARRIER
 1/2" DRYWALL INTERIOR FINISH

4 WOOD PLATE
 NEW 2 - 2" x 10" WOOD PLATE AT SUNROOM RIDGE
 ON MINIMUM 2" x 6" POST EACH END.
 BOLT TO EXISTING FOR LATERAL SUPPORT - 3/8" LAG BOLT @ 32" O.C.

5 FLASHING
 ALUM. FLASHINGS & SILICONE SEALANT AT RIDGE
 MIN. 0.48 mm THICK ALUM COATED FLASHING
 SEAL AT SUNROOM RIDGE

6 ROOF GLAZING
 CODE 78 HIGH PERFORMANCE GLAZING
 TO BE CONSERVGLASS + 16mm (MC-16)
 MULTI-COAT GLASS (MC2)
 EASY-CLEAN EXTERIOR COATING TECHNOLOGY
 ARGON FILLED
 82 % OF THE SUN'S RADIANT HEAT WILL BE REFLECTED
 LOW VISIBLE REFLECTIVITY
 IT HAS AN R4.0 INSULATION VALUE
 STAINLESS STEEL WARM EDGE SPACERS FOR LESS CONDUCTIVITY
 DUAL SEAL SILICONE
 FULLY TEMPERED DOUBLE INSULATED SAFETY GLASS
 INSIDE LIGHT TO BE LAMINATED WITH PVB INTERLAYER
 SHALL CONFORM WITH CAN/CGSB-12.20-M,
 CAN/CGSB-12.20-M89,
 AND O.B.C. DIV. B. 9.7.3.2, & 4.3.6.1

7 SOFFIT CUT
 REMOVE EXISTING ROOF OVERHANG IN AREA OF SUNROOM ADDITION
 CUT BACK TO EXISTING HOUSE WALL.
 FLASH, CAULK, SEAL, AND MAKE GOOD ALL EDGES.

General Notes

- All construction shall comply with Ontario Building Code 2012, its subsequent revisions and authorities having jurisdiction. New specific materials and products have to be authorized by agencies like: Canadian Construction Materials Centre C.C.M.C. or Building Materials Evaluation Commission B.M.E.C. Manufacturer's items, materials and construction must comply with requirements of Canada Mortgage and Housing Corporation C.M.H.C.
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Project Name and Address
YU
 152 GRAHAM DRIVE
 AURORA, ONTARIO
 L4G 7C4

Project 20-015	Sheet A4
Date 10.17.2020	
Scale 1/4" = 1'-0"	

EXISTING GRADE TO REMAIN UNALTERED
 MAINTAIN SLOPE AWAY FROM BUILDING

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

NAME	SIGNATURE	BCIN
CRISTIN MILLER	<i>Cristin Miller</i>	38262

SECTION



TOWN OF AURORA COMMITTEE OF ADJUSTMENT REQUEST FOR DECISION

Meeting Date: _____ Agenda Item Number: _____

Application Name: _____

File Number(s): _____

IMPORTANT NOTICE

You must complete this form and submit it to the Secretary-Treasurer to ensure your name and address are accurately noted for future notification.

This meeting is your opportunity to voice any opinions or comments you may have regarding an Application for approval of a Minor Variance/Permission or Consent. Under the *Planning Act*, for a Minor Variance and Permission, Section 45(10) states that the Secretary-Treasurer shall send one copy of the decision, to each person or public body who appeared in person or by counsel at the hearing AND who filed with the Secretary-Treasurer a written request for Notice of the Decision. For Consent, Section 53(17) states that if the Committee gives or refuses to give provisional Consent, the Committee shall ensure written Notice of the Decision is given to each person or public body that made a written request to be notified of decision or conditions.

NOTE: Due to COVID-19, all Request for Decisions shall be emailed to Brashanthe Manoharan, Secretary-Treasurer, at bmanoharan@aurora.ca.

Please print clearly and provide information requested below.

Name: _____
(MR./MRS./MS) (First) (Last)

Address: _____

Municipality: _____ Postal Code: _____
(Must Be Provided)

Telephone: Residence _____ E-Mail: _____
Business _____ E-Mail: _____

Notice of Decision and/or future consideration of this Committee of Adjustment Application will be provided by E-Mail.

NOTE: Notice of this meeting was given by mail to all owners within 120 metres (400 feet) of the subject lands

Personal information on this form is collected under the legal authority of the *municipal act*, R.S.O.1990, and C.M.45, as amended. This information will be used for the purposes of sending correspondence relating to matters before council. The information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to section 27 of the *municipal freedom of information and protection of privacy act*, R.S.O. 1990, C.M.56, as amended. Questions about this collection should be directed to the town clerk, town of aurora, 100 john west way, box 1000, aurora, Ontario, l4g 6j1, telephone: 905-727-3123 ext. 4771