

**NOTICE OF PUBLIC HEARING
MINOR VARIANCE**

Pursuant to Section 45(5) of *The Planning Act*

FILE NUMBER: MV-2018-22

APPLICANT: Bruno Di Tomaso

PROPERTY: 11 Patrick Drive
Lot 237 Registered Plan 514

ZONING: Detached Third Density Residential Zone (R3)

PURPOSE: The Owner has submitted a Minor Variance Application to allow the construction of a one storey addition to the rear of the existing dwelling, with an attached garage.

**BY-LAW
REQUIREMENT:**

- 1) Section 7.2 of the Zoning by-law permits maximum lot coverage of 35%.

PROPOSAL:

- a) To permit a maximum lot coverage of 40%, thereby, requiring a variance of 5%.

A Location Map and a Site Plan illustrating the request are attached.

This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

DATE:	August 9, 2018
TIME:	7:00 p.m.
LOCATION:	COUNCIL CHAMBERS (MAIN FLOOR) AURORA TOWN HALL 100 JOHN WEST WAY AURORA, ONTARIO

You are invited to attend this Public Hearing in person to express your views about this Application or you may be represented for that purpose. If you do not attend at the hearing, it may proceed in your absence. Any person who supports or opposes this Application may speak at the hearing. Alternatively, you may forward a signed, written submission, together with reasons for support or opposition, which **must be received by the undersigned no later than 12:00pm on the day of the hearing**. If you do not attend and have not registered with Staff as an interested party, you will not be entitled to any further notice of the proceedings.

If you wish to be notified of the Decision of the Committee of Adjustment with respect to this Application, you must complete a "Request for Decision" form available at the hearing or make a written request to the undersigned prior to the hearing.

Any inquiries for this Application, please contact the undersigned, at **905-727-3123 Ext. 4223**, Monday to Friday between 8:30 am and 4:30 pm. Comments may also be mailed to the Planning and Development Services department, Aurora Town Hall, 100 John West Way, Aurora ON L4G 1J6.

Personal Information Collection Notice

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990, Chapter c.P.13*, as amended. Your comments in respect to this Application will become part of the decision making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56*, as amended, (*the "Act"*) public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with *the Act*. Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 19TH DAY OF JULY, 2018.



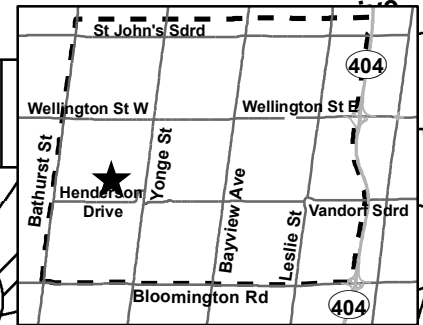
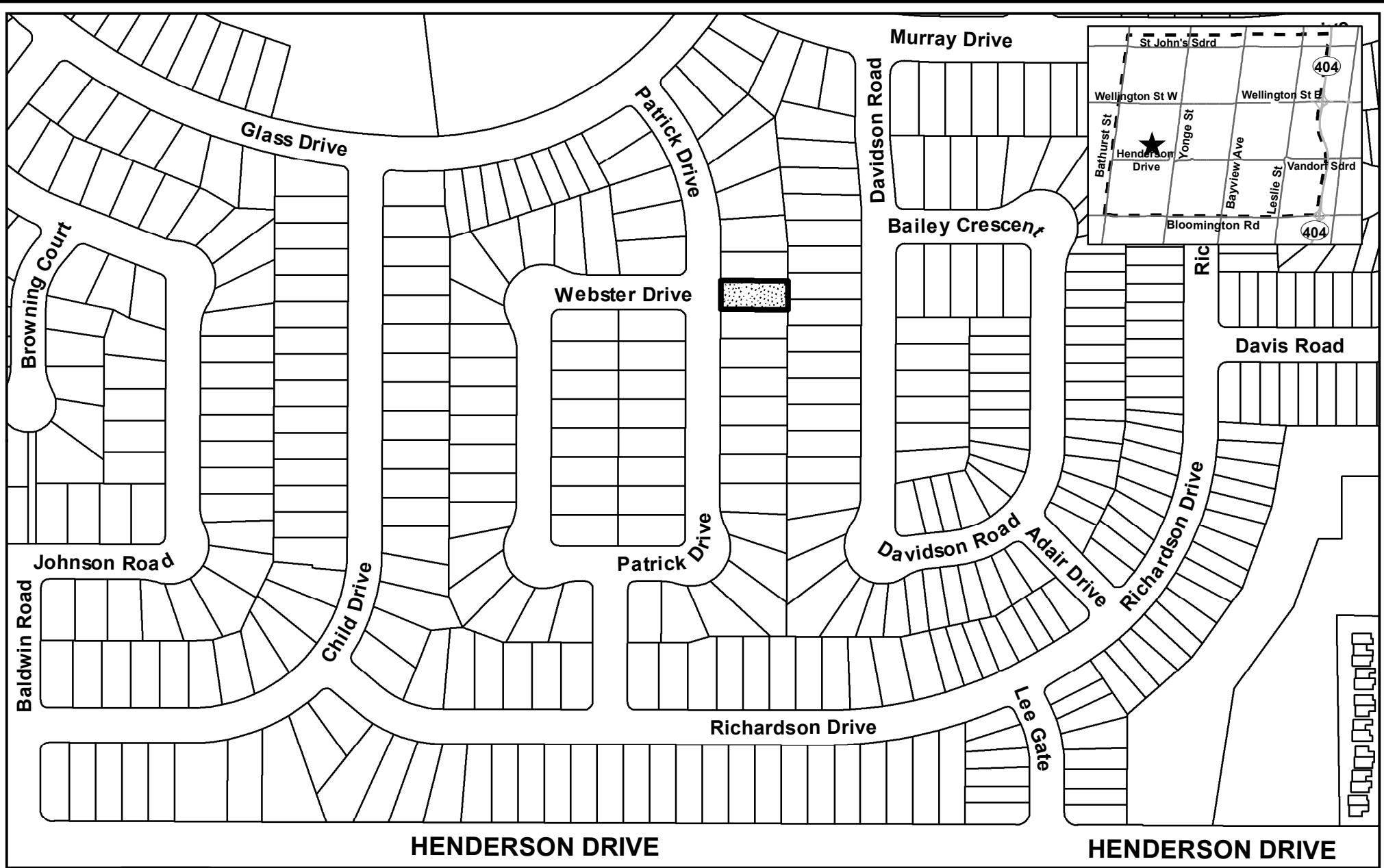
Antonio Greco
Secretary-Treasurer/Planning Technician
Committee of Adjustment

ATTACHMENTS

Attachment 1- Location Map
Attachment 2 – Site Plan

Agenda packages will be available prior to the Hearing at:

<https://www.aurora.ca/TownHall/Pages/Council%20and%20Committee%20Meetings.aspx>

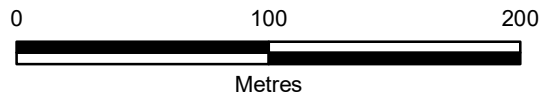


KEY MAP

FILE NO: MV-2018-22
 ADDRESS: 11 PATRICK DRIVE
 TOWN OF AURORA
 COMMITTEE OF ADJUSTMENT



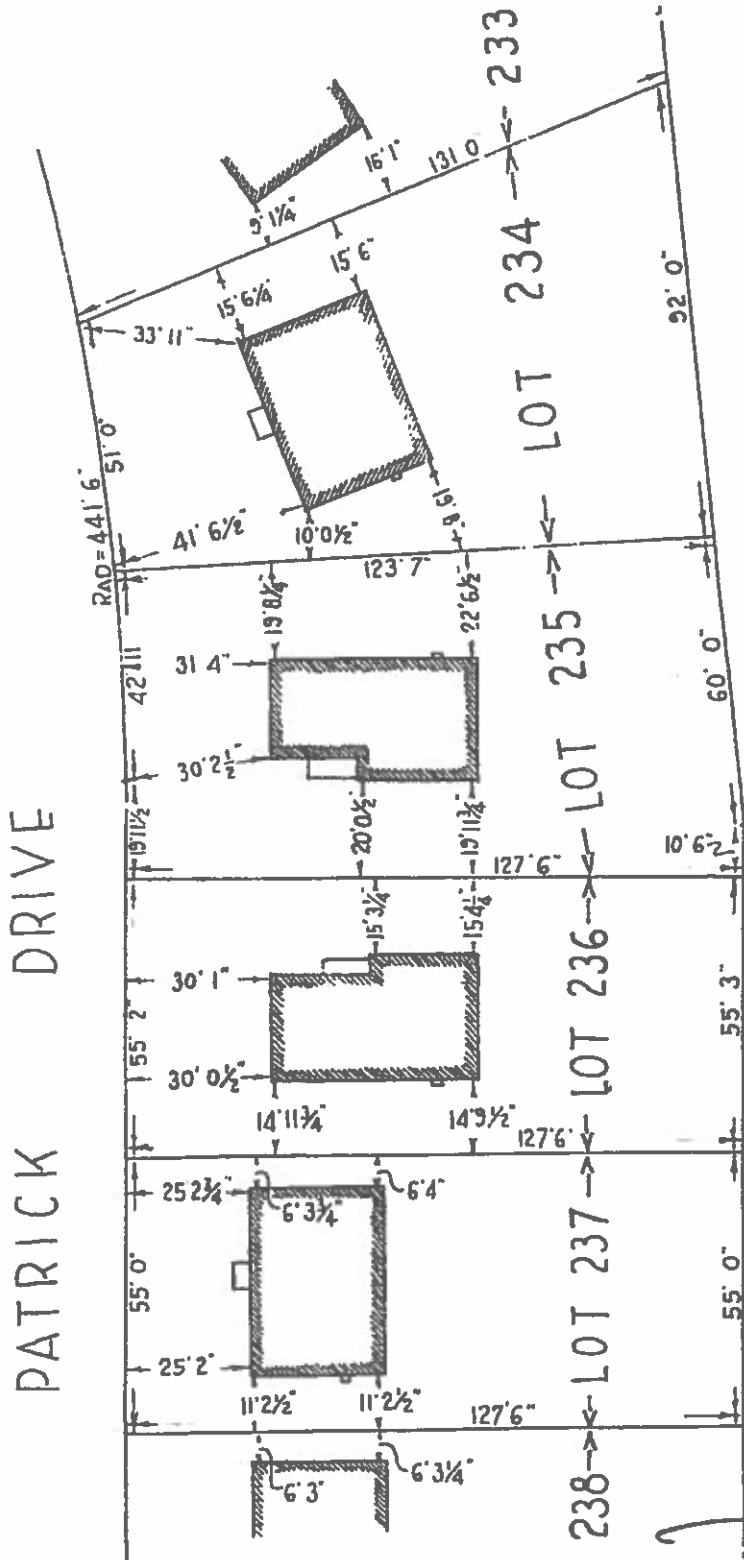
Subject Lands



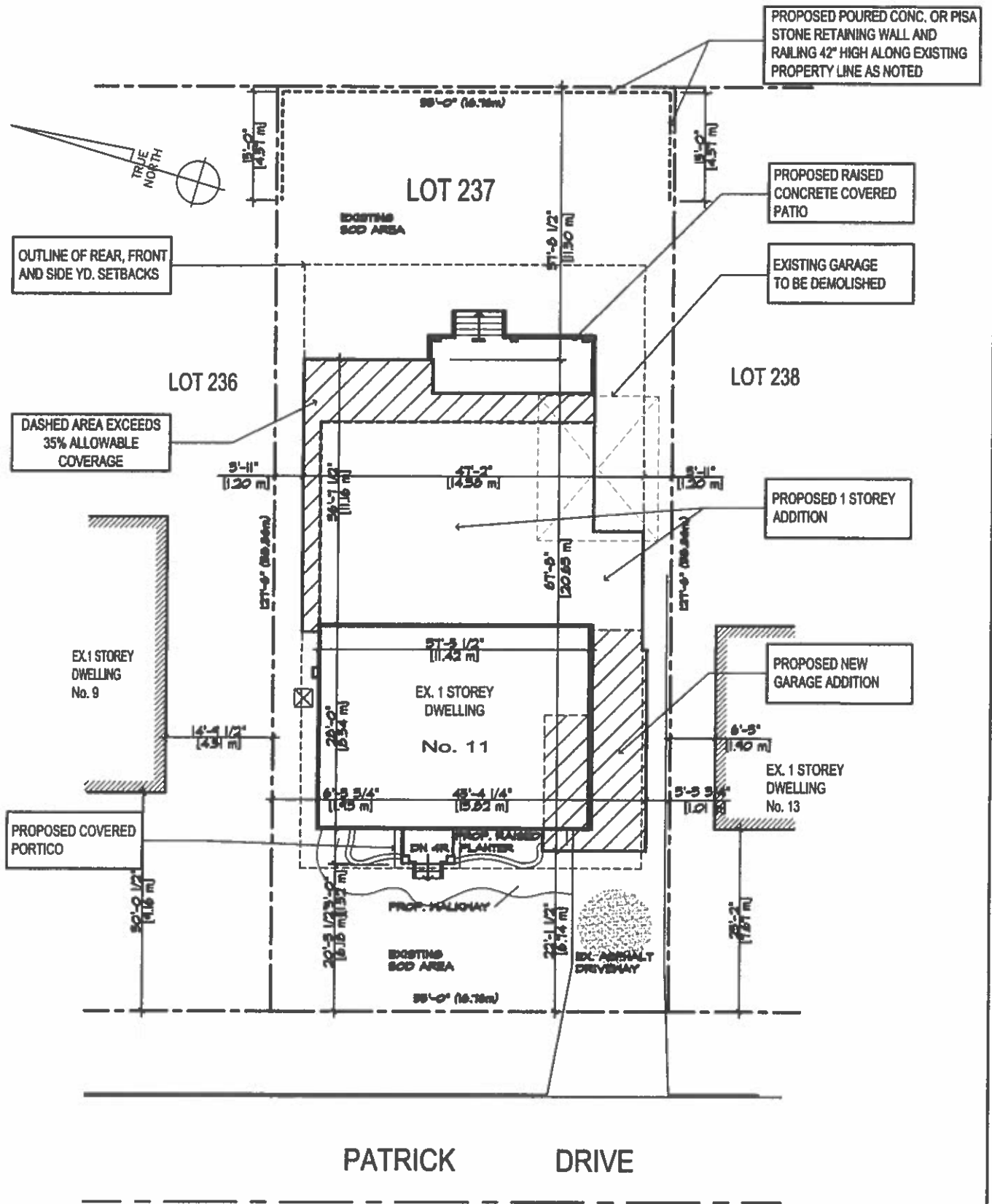
SKETCH SHOWING

LOTS 234, 235, 236 & 237 - REG'D PLAN 514
NORTH YORK REGISTRY DIVISION
TOWN OF AURORA

SCALE 1" = 30'



BROWNE, CAVELL AND ASSOCIA
ONTARIO LAND SURVEYORS
279 HUMBERCREST BLV
TORONTO 9, RO. 6-60
PER. *W. A. ...*
ONTARIO LAND SURVEYOR
TORONTO DEC. 10 1958



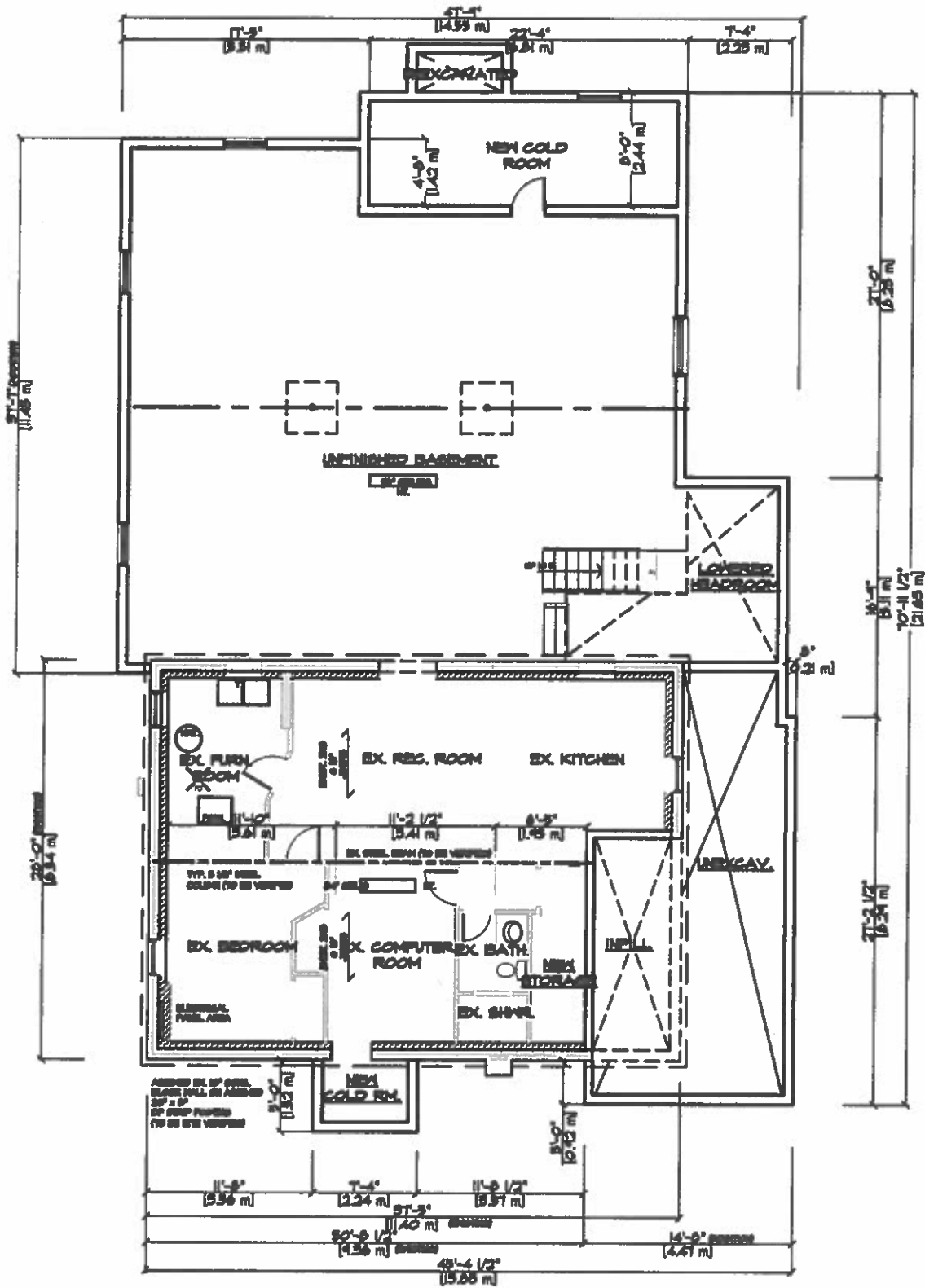
LEGAL DESCRIPTION

INFORMATION FOR THIS SITE PLAN WAS TAKEN FROM SKETCH OF SURVEY SHOWING LOTS 234 TO 237, REGISTERED PLAN 514, NORTH YORK REGISTRY DIVISION, TOWN OF AURORA AS PREPARED BY BROWNE, CAVELL AND ASSOCIATES - ONTARIO LAND SURVEYORS. 279 HUMBERCREST BLVD. TORONTO 9, RO. 6-60
DATED: DECEMBER 10, 1958.

SITE DATA

<u>Zoning By-Law :</u>	R3 - DETACHED 3RD DENSITY RESIDENTIAL By-law # 6000-17		
<u>Lot Area:</u>	653.66 sq.m (7,036.20 sq.ft)		
<u>Allowable Coverage:</u>	MAX. 35% = 228.78sq.m (2,462.67 sq.ft)		
Existing:	97.36 sq.m (1,048.00 sq.ft.)(14.90%)		
Proposed Addition:	159.63sq.m (1718.31 sq.ft.) (24.40%)		
Total Proposed Coverage:	256.99 sq.m (2766.31 sq.ft.)(39.30%)		
<u>Lot Frontage:</u> MIN. REQ'D.	15.00 m (49'-3")	MINOR VARIANCE	
Existing:	16.76 m (55'-0")		
<u>Setbacks:</u> <u>Required</u>	<u>Existing</u>	<u>Proposed</u>	
Front (W): 6.00m (19'-8")	7.67m (25'-2")	6.74m (22'-2")	
Rear (E): 7.5m (24'-7 1/2")	22.66m (74'-4")	11.50m (37'-8 1/2")	
Side Yards - ONE STOREY -			
(NORTH): 1.20m (3'-11")	1.93m (6'-3 3/4")	1.20m (3'-11")	
(SOUTH): 1.20m (3'-11")	3.41m (11'-2 1/2")	1.20m (3'-11")	
@ GARAGE SOUTH WALL >	1.00m (3'-3 1/2")	1.01m (3'-4")	
<u>Allowable Building Height:</u>			
Allowable Building Height:	10.00m (32'-9 1/2")		
Proposed Addition Height:	* 5.28m (17'-4")		

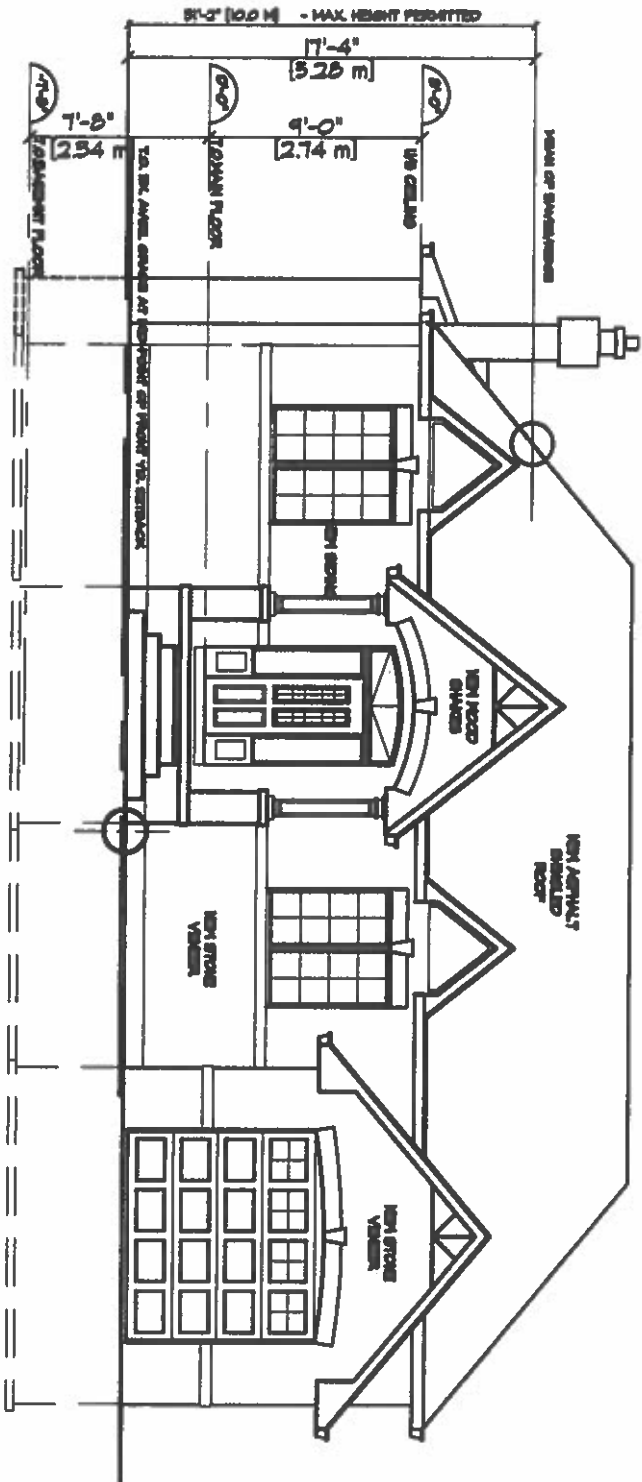
* Building Height is the vertical distance measured between the average finished grade: on any sloped roof, the mean distance between the eaves and the ridge of the roof.



(A) PROPOSED BASEMENT FLOOR PLAN
NOT TO SCALE

BRUTEK CONSULTING INC

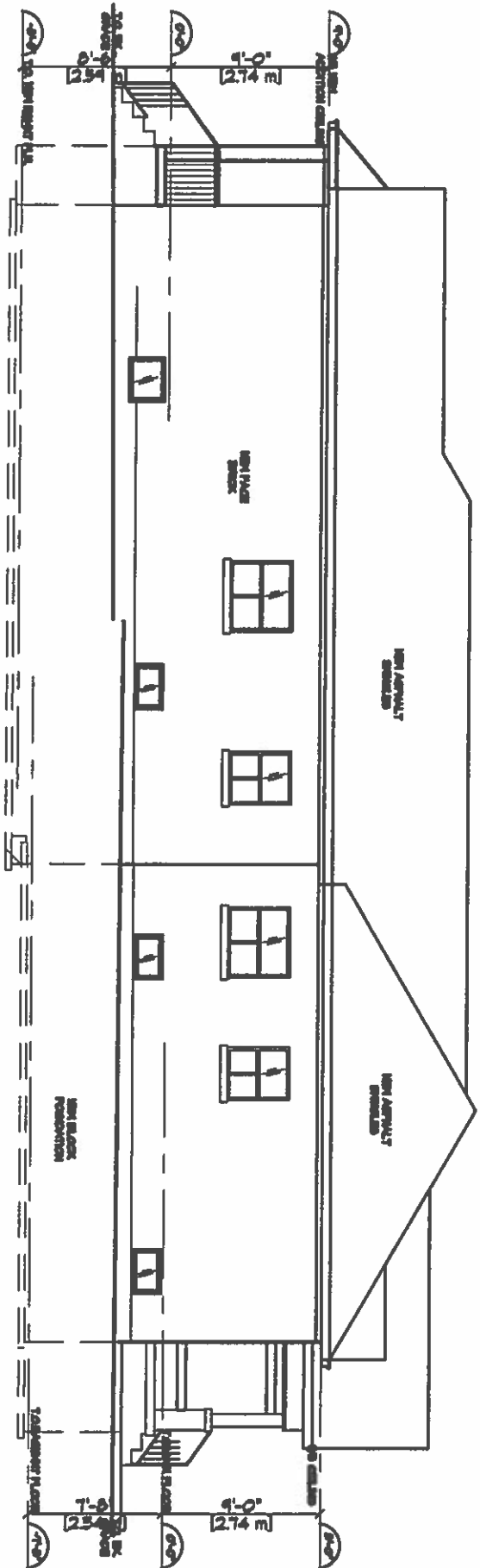
11 PATRICK DRIVE



1 PROPOSED FRONT (WEST) ELEVATION
A3 NOT TO SCALE

BRUTEK CONSULTING INC

11 PATRICK DRIVE



1 PROPOSED LEFT SIDE (NORTH) ELEVATION
A6 NOT TO SCALE