

**NOTICE OF PUBLIC HEARING  
MINOR VARIANCE**

**Pursuant to Section 45(5) of *The Planning Act***

**FILE NUMBER:** MV-2018-20 A-C

**APPLICANT:** Marco Viera

**PROPERTY:** 111 Whispering Pine Trail  
Plan 65M2431 Lot 47

**ZONING:** Detached First Density Residential (R1)

**PURPOSE:** The Owner has submitted a Minor Variance Application to allow a reduced southerly interior side yard and increased eaves encroachment, for a new accessory garage. An additional variance is required to increase the maximum driveway width of the subject property.

**BY-LAW  
REQUIREMENT:**

- 1) Section 7.2 of the Zoning By-law requires a minimum interior side yard setback of 4.5 metres for accessory structures;
- 2) Section 4.20 of the Zoning By-law states eaves may encroach 0.7 metres into any required yard;
- 3) Section 5.6.1a) iii) of the Zoning By-law requires a maximum driveway width of 10.0 metres if the lot frontage is 18.0 metres or greater, with the exception that the maximum driveway width at the street line shall not exceed 6.0 metres.

**PROPOSAL:**

- a) To permit a reduced minimum southerly interior side yard setback for the proposed accessory garage to 3.0 metres, thereby, requiring a variance of 1.5 metres;
- b) To permit an increased eaves encroachment of 2.15 metres into the required southerly interior side yard, thereby, requiring a variance of 1.45 metres;
- c) To permit an increased maximum driveway width to 10.21 metres, thereby, requiring a variance of 0.21 metres and 4.21 metres at the street line.

A Location Map and a Site Plan illustrating the request are attached.

This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

<b>DATE:</b>	<b>August 9, 2018</b>
<b>TIME:</b>	<b>7:00 p.m.</b>
<b>LOCATION:</b>	<b>COUNCIL CHAMBERS (MAIN FLOOR) AURORA TOWN HALL 100 JOHN WEST WAY AURORA, ONTARIO</b>

You are invited to attend this Public Hearing in person to express your views about this Application or you may be represented for that purpose. If you do not attend at the hearing, it may proceed in your absence. Any person who supports or opposes this Application may speak at the hearing. Alternatively, you may forward a signed, written submission, together with reasons for support or opposition, which **must be received by the undersigned no later than 12:00pm on the day of the hearing**. If you do not attend and have not registered with Staff as an interested party, you will not be entitled to any further notice of the proceedings.

If you wish to be notified of the Decision of the Committee of Adjustment with respect to this Application, you must complete a "Request for Decision" form available at the hearing or make a written request to the undersigned prior to the hearing.

Any inquiries for this Application, please contact the undersigned, at **905-727-3123 Ext. 4223**, Monday to Friday between 8:30 am and 4:30 pm. Comments may also be mailed to the Planning and Development Services department, Aurora Town Hall, 100 John West Way, Aurora ON L4G 1J6.

#### **Personal Information Collection Notice**

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990*, Chapter c.P.13, as amended. Your comments in respect to this Application will become part of the decision making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990*, c. M.56, as amended, (*the "Act"*) public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with *the Act*. Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 19<sup>TH</sup> DAY OF JULY, 2018.



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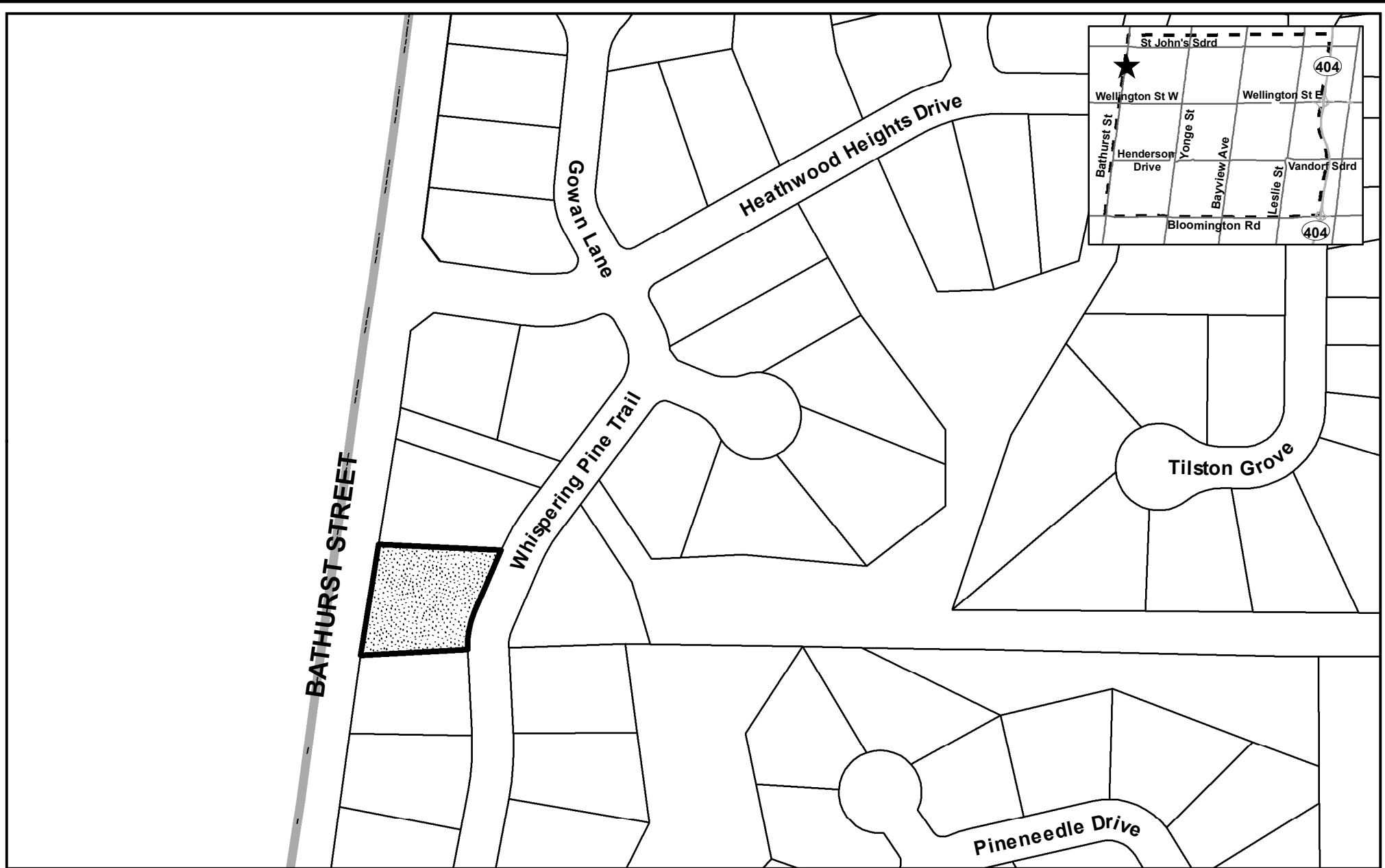
Antonio Greco  
Secretary-Treasurer/Planning Technician  
Committee of Adjustment

#### **ATTACHMENTS**

- Attachment 1- Location Map
- Attachment 2 – Site Plan

**Agenda packages will be available prior to the Hearing at:**

<https://www.aurora.ca/TownHall/Pages/Council%20and%20Committee%20Meetings.aspx>

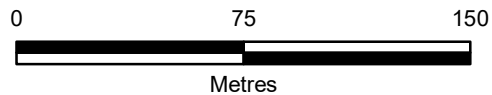


**KEY MAP**

FILE NO: MV-2018-20  
 ADDRESS: 111 WHISPERING PINE TRAIL  
 TOWN OF AURORA  
 COMMITTEE OF ADJUSTMENT



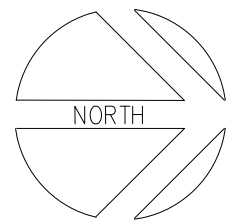
**Subject Lands**



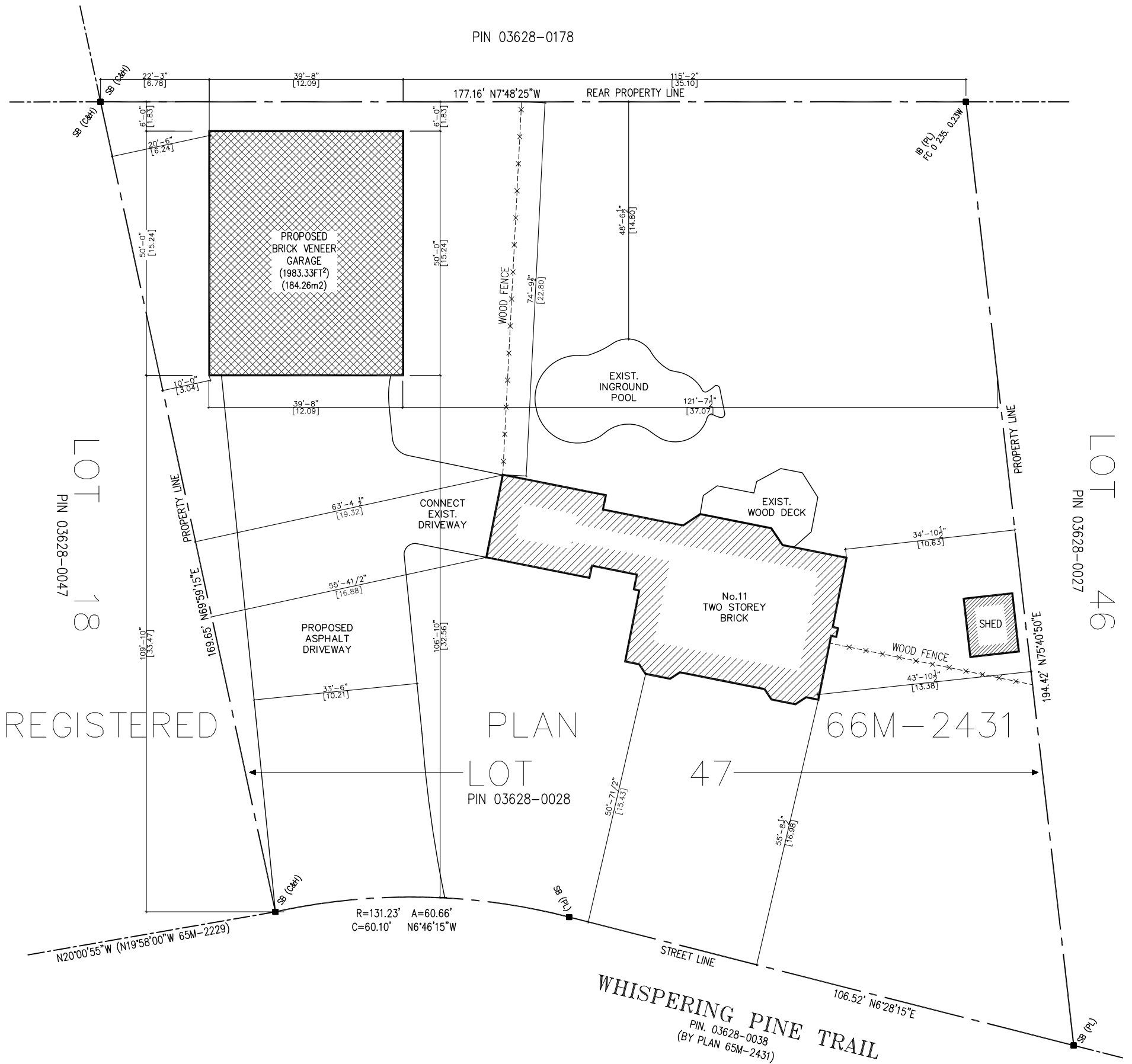
**NOTE:**

SEE SURVEY BY O.L.S. FOR VERIFICATION:  
 SURVEY INFORMATION TAKE FROM BUILDING  
 LOCATION SURVEY OF PART LOT 47  
 REGISTERED PLAN 65M-2431  
 CITY OF AURORA

PREPARED BY: ONTARIO LAND SURVEYORS  
 DATED: N/A



PIN 03628-0178



ZONED AS R1		
	m2	(SQ. FT.)
LOT AREA=	2720.769	29,286.09
LOT FRONTAGE @ STREET LINE=	50.96 m	167.2 ft.
<b>PROPOSED LOT COVERAGE:</b>		
BUILDING FOOTPRINT=	184.26	1,983.33
EXIST. SHED=	11.15	120.02
PROP. FRAME GARAGE =	195.10	2,100.00
TOTAL PROPOSED COVERAGE =	<u>390.50</u>	<u>4,203.34</u>
		<b>14.35%</b>
MAX. ALLOWED LOT COVERAGE=	952.27	10,250.13
LOT AREA X 0.30		<b>35%</b>

**1**  
**A 1** **SITE PLAN**  
 SCALE: 1/16" = 1'-0"  
 SCALE: 1:200m = 1'-0"



257 DUNRAVEN DRIVE  
 TORONTO, ONTARIO. M6M-1H8  
 TEL: (416) 564-2435  
 www.epicdesignsinc.ca

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

**QUALIFICATION INFORMATION**

Required unless design is exempt under 3.2.4.3(5) Division C of the building code

MARGO VIEIRA *[Signature]* 25562  
 NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**

Required unless design is exempt under 3.2.4.7. Division C of the building code

EPIC DESIGNS INC. 3018  
 FIRM NAME BCIN

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO EPIC DESIGNS INC. BEFORE PROCEEDING WITH WORK.

ALL PRINTS AND SPECIFICATIONS ARE THE PROPERTY OF EPIC DESIGNS INC. AND SHALL NOT BE COPIED, IN PART OR WHOLE WITHOUT PRIOR WRITTEN PERMISSION

PROJECT  
 PROPOSED DETACHED  
 GARAGE AT

No.111 WHISPRING PINE TRIAL  
 CITY OF TORONTO

**DRAWING**

SITE PLAN

SCALE  
 AS SHOWN

DATE  
 APRIL , 2018

PROJECT No.  
 2018-00

DRAWN BY  
 M.V.

APPROVED BY  
 M.V.

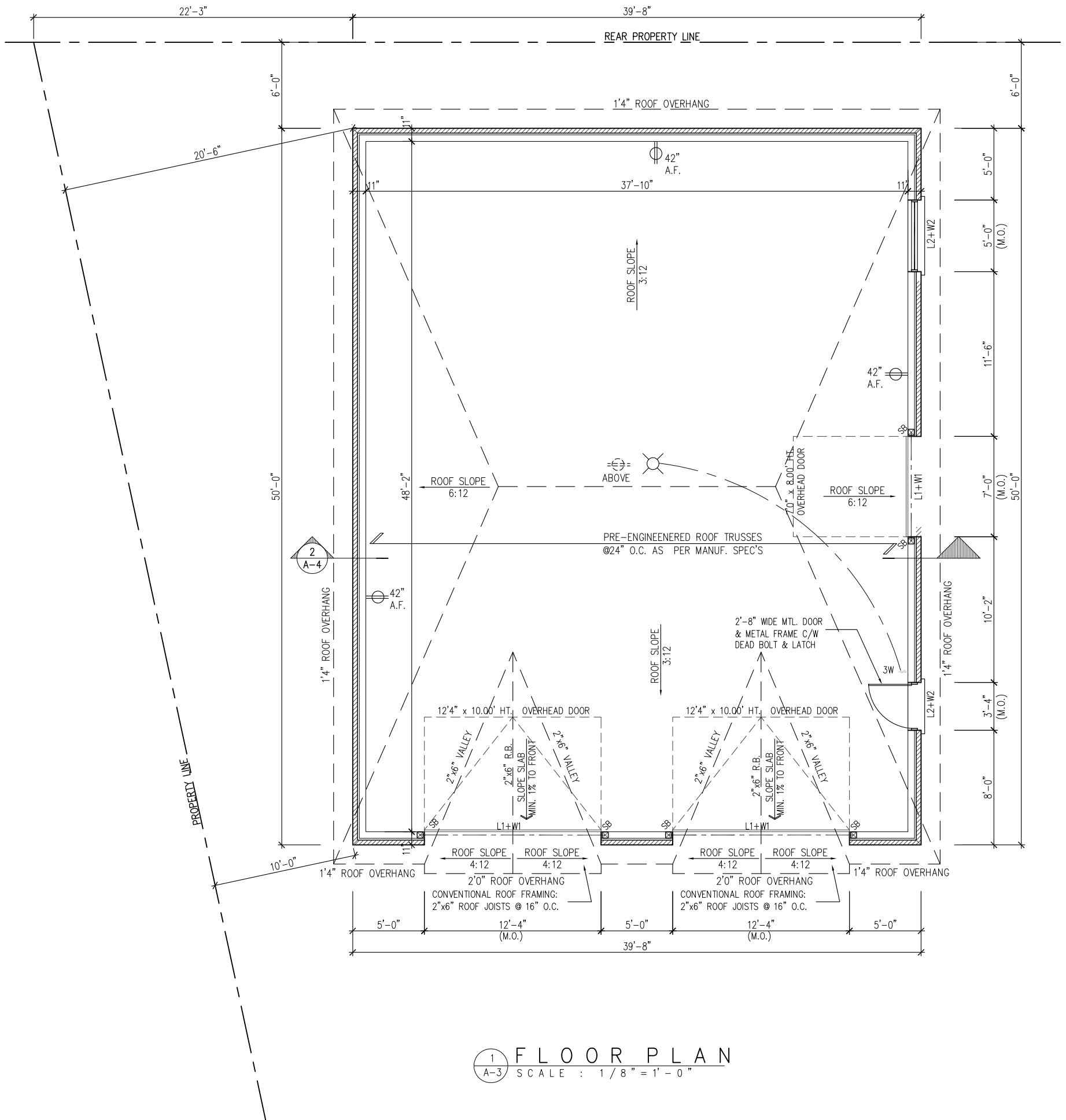
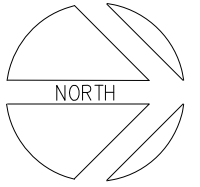
DRAWING No.  
 A-1

WOOD & STEEL LINTEL SCHEDULE:

L1 = 6" x 3 1/2" x 3/8" STEEL LINTEL  
 L2 = 4" x 3 1/2" x 1/4" STEEL LINTEL

W-1 2-2" x 12" WOOD LINTEL  
 W-2 2-2" x 10" WOOD LINTEL

4" CONCRETE SLAB W/ 6"x6"x6/6 W.W.M.  
 (OPTIONAL) ON 5" COMPACTED CRUSHED  
 STONE ( CONCRETE TO HAVE A MIN.  
 COMPRESSIVE STRENGTH OF 32 MPa  
 @ 28 DAYS W/ 5-8% AIR-ENTRAINMENT )



1 FLOOR PLAN  
 A-3 SCALE : 1/8" = 1'-0"



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DRAWING

FLOOR PLAN

SCALE  
 AS SHOWN

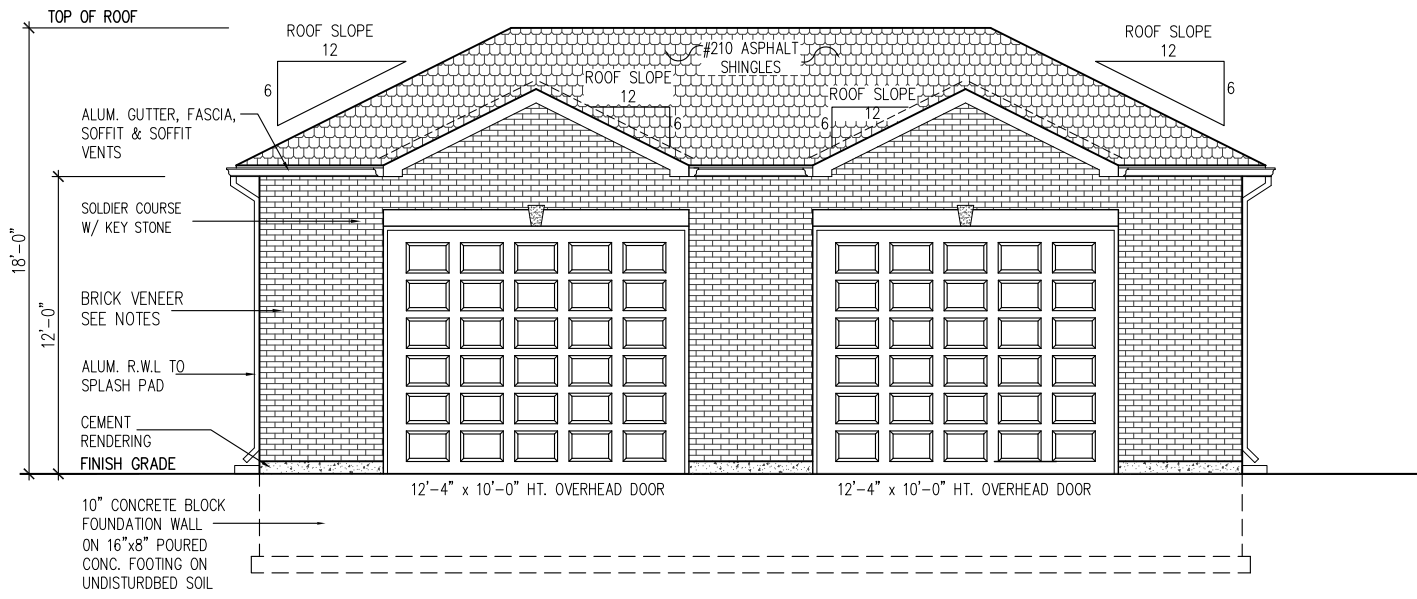
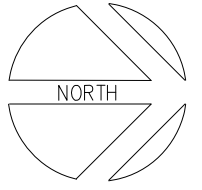
DATE  
 APRIL , 2018

PROJECT No.  
 2018-28

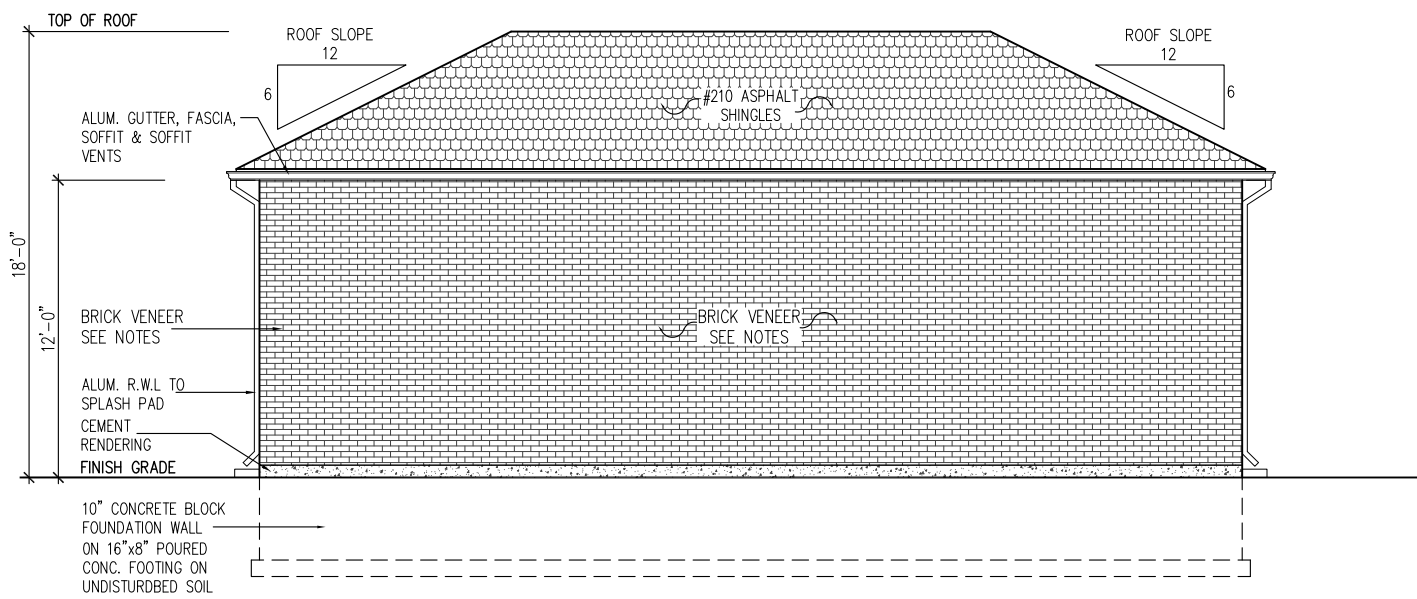
DRAWN BY  
 M.V.

APPROVED BY  
 M.V.

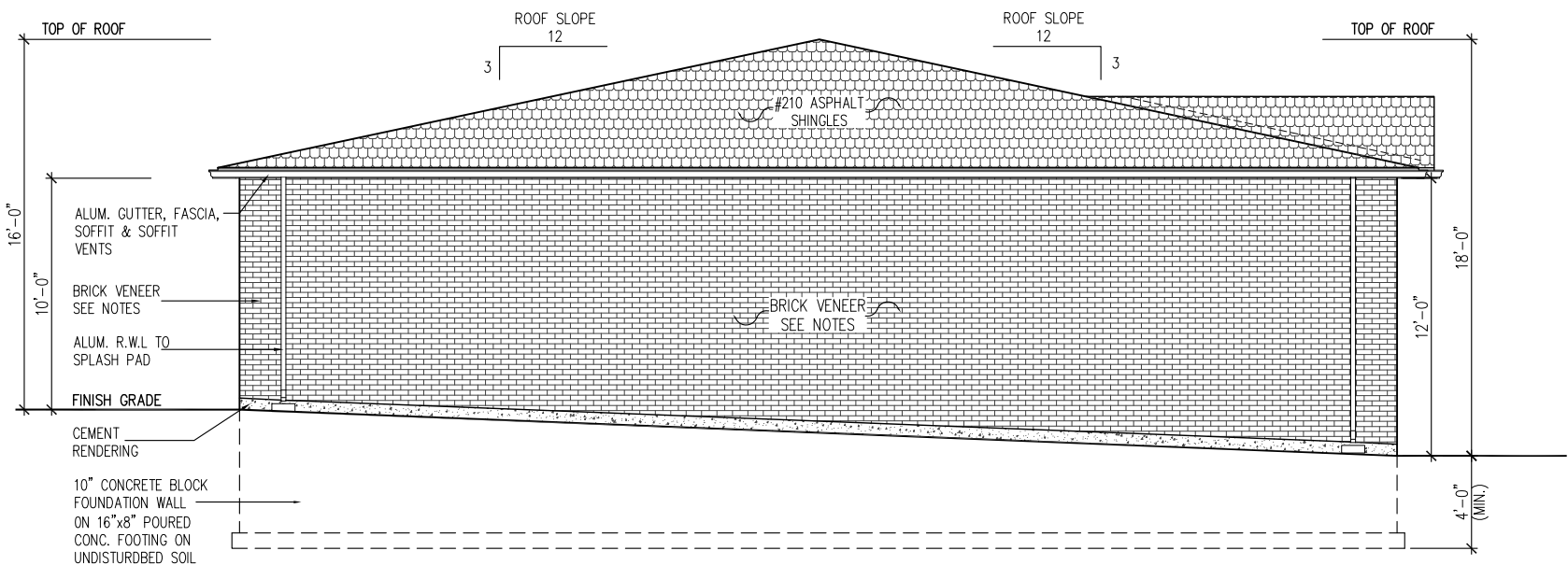
DRAWING No.  
 A-2



1 EAST (FRONT) ELEVATION  
A-3 SCALE : 1/8" = 1'-0"



2 WEST (REAR) ELEVATION  
A-3 SCALE : 1/8" = 1'-0"



3 SOUTH (SIDE) ELEVATION  
A-3 SCALE : 1/8" = 1'-0"



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CITY OF AURORA

DRAWING

ELEVATIONS

SCALE  
AS SHOWN

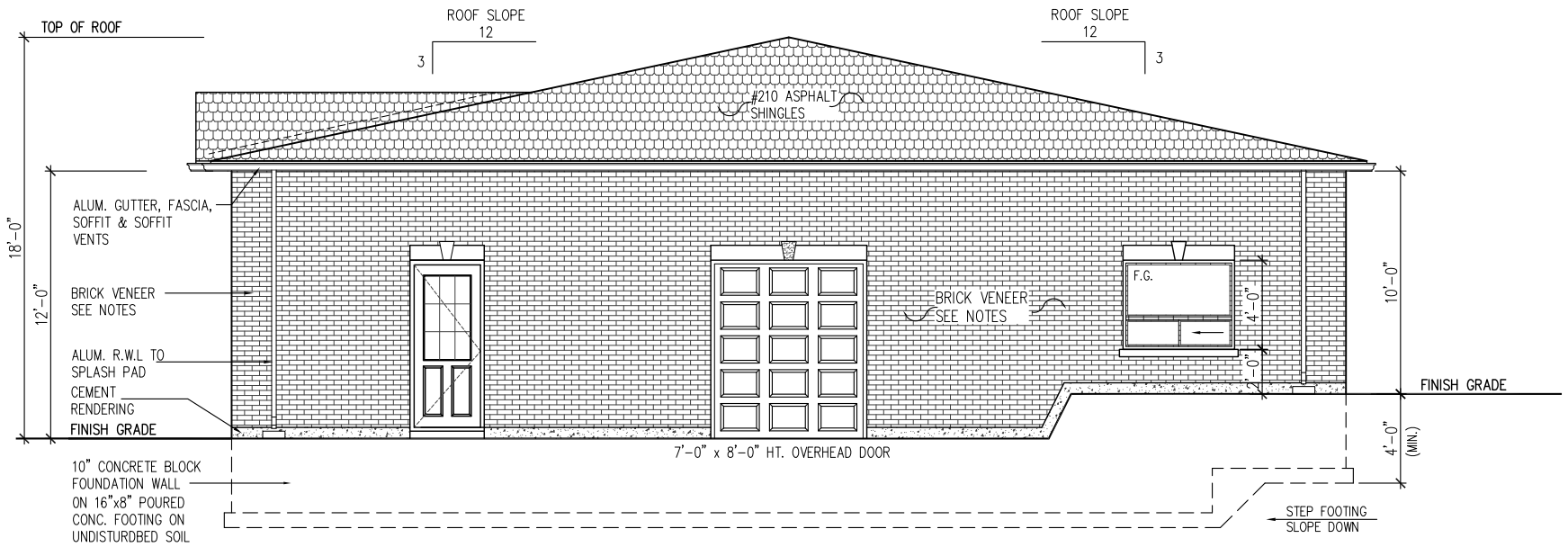
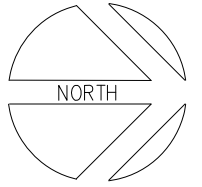
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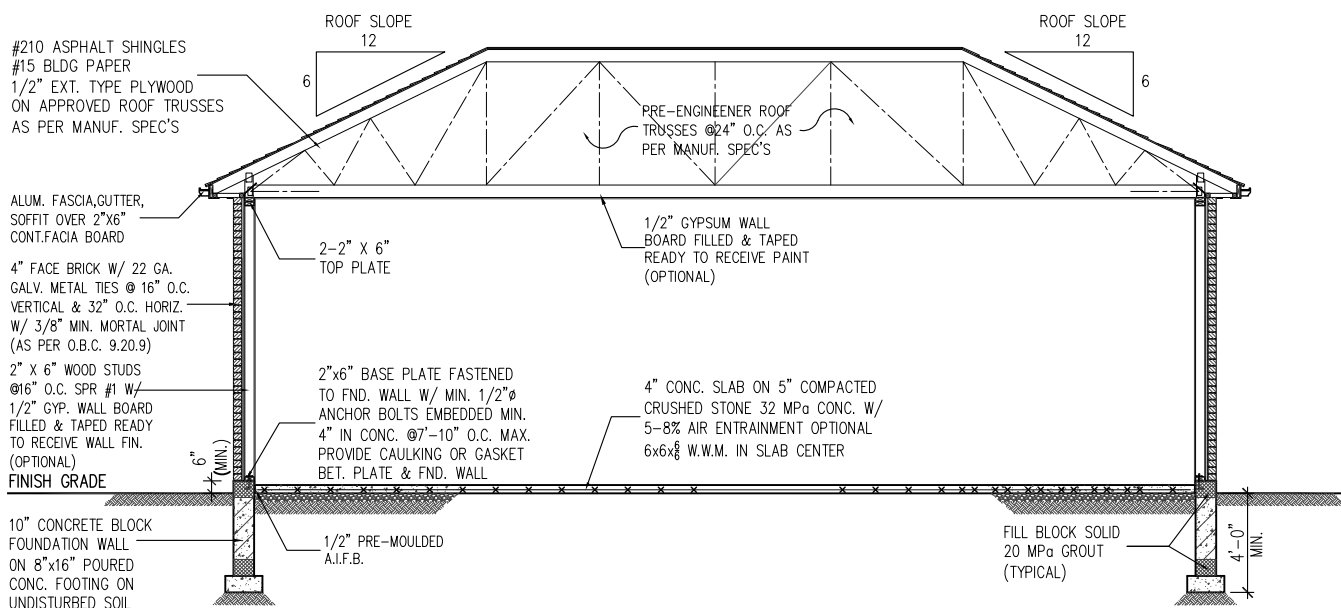
DRAWN BY  
M.V.

APPROVED BY  
M.V.

DRAWING No.  
A-3



1 NORTH (SIDE) ELEVATION  
A-4 SCALE : 1/8" = 1'-0"



2 CROSS SECTION  
A-4 SCALE : 1/8" = 1'-0"



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PROJECT  
PROPOSED DETACHED  
GARAGE AT

No.111 WHISPRING PINE TRIAL  
CITY OF AURORA

DRAWING

NORTH ELEVATION & CROSS SECTION

SCALE  
AS SHOWN

DRAWN BY  
M.V.

DATE  
APRIL, 2018

APPROVED BY  
M.V.

PROJECT No.  
2018-28

DRAWING No.  
A-4