



**Accessibility
Advisory Committee
Meeting Agenda**

**Wednesday, September 6, 2017
4 p.m.**

**Holland Room
Aurora Town Hall**

Public Release
August 30, 2017



Town of Aurora
Accessibility Advisory Committee
Meeting Agenda

Date: Wednesday, September 6, 2017

Time and Location: 4 p.m., Holland Room, Aurora Town Hall

1. Approval of the Agenda

Recommended:

That the agenda as circulated by Legislative Services be approved.

2. Declarations of Pecuniary Interest and General Nature Thereof

3. Receipt of the Minutes

Accessibility Advisory Committee Meeting Minutes of June 7, 2017

Recommended:

That the Accessibility Advisory Committee meeting minutes of June 7, 2017, be received for information.

4. Delegations

5. Matters for Consideration

1. Round Table Discussion

Re: Queen's Diamond Jubilee Park Opening

Recommended:

1. That the comments and suggestions of the Committee regarding Queen's Diamond Jubilee Park Opening be received and referred to staff for consideration and action as appropriate.

2. Memorandum from Planner

Re: Application for Minor Site Plan Amendment

Roman Catholic Episcopal Corp.

15347 Yonge Street

File Number: SP-2017-06

(Full-size drawings will be available at the meeting.)

Recommended:

1. That the memorandum regarding Application for Minor Site Plan Amendment, Roman Catholic Episcopal Corp., 15347 Yonge Street, File Number: SP-2017-06, be received; and
2. That the Accessibility Advisory Committee provide comment regarding the Application for Minor Site Plan Amendment.

3. Memorandum from Senior Policy Planner

Re: Site Plan Application (Submission 2)

MBH Aurora Lodging GP Limited

Northeast Corner of Goulding Avenue and Eric T. Smith Way

Part of Lot 1, Registered Plan 65M-4324

Part 1, Plan 65R-35666

File Number: SP-2017-04

(Full-size drawings will be available at the meeting.)

Recommended:

1. That the memorandum regarding Site Plan Application (Submission 2), MBH Aurora Lodging GP Limited, Northeast Corner of Goulding Avenue and Eric T. Smith Way, Part of Lot 1, Registered Plan 65M-4324, Part 1, Plan 65R-35666, File Number: SP-2017-04; and

2. That the Accessibility Advisory Committee provide comment regarding the Site Plan Application (Submission 2).

4. Round Table Discussion
Re: Accessibility Day

Recommended:

1. That the comments and suggestions of the Committee regarding Accessibility Day be received and referred to staff for consideration and action as appropriate.

6. Informational Items

5. Extract from Council Meeting of June 13, 2017
Re: Accessibility Advisory Committee Meeting Minutes of March 1, 2017, and April 5, 2017

Recommended:

1. That the Extract from Council Meeting of June 13, 2017, regarding the Accessibility Advisory Committee meeting minutes of March 1, 2017, and April 5, 2017, be received for information.

7. New Business

8. Adjournment



**Town of Aurora
Accessibility Advisory Committee
Meeting Minutes**

Date: Wednesday, June 7, 2017

Time and Location: 4 p.m., Leksand Room, Aurora Town Hall

Committee Members: Tyler Barker (Chair), John Lenchak (Vice Chair) (arrived 4:05 p.m.), Gordon Barnes, James Hoyes, Jo-anne Spitzer, and Councillor John Abel (departed 5:33 p.m.)

Member(s) Absent: None

Other Attendees: Chris Catania, Accessibility Advisor, Michael de Rond, Town Clerk, and Sarah Murray, Council/Committee Secretary

The Chair called the meeting to order at 4 p.m.

1. Approval of the Agenda

**Moved by Gordon Barnes
Seconded by James Hoyes**

That the agenda as circulated by Legislative Services be approved.

Carried

2. Declarations of Pecuniary Interest and General Nature Thereof

There were no declarations of pecuniary interest under the *Municipal Conflict of Interest Act*.

3. Receipt of the Minutes

Accessibility Advisory Committee Meeting Minutes
Wednesday, June 7, 2017

Page 2 of 5

**Accessibility Advisory Committee Meeting Minutes of April 5, 2017, and
No Quorum Report of May 10, 2017**

**Moved by James Hoyes
Seconded by Councillor Abel**

That the Accessibility Advisory Committee meeting minutes of April 5, 2017, and the No Quorum Report of May 10, 2017, be received for information.

Carried

4. Delegations

None

5. Matters for Consideration

1. Memorandum from Senior Policy Planner

Re: Site Plan Application, MBH Aurora Lodging GP Limited, Northeast Corner of Goulding Avenue and Eric T. Smith Way, Part of Lot 1, Registered Plan 65M-4324, Part 1, Plan 65R-35666, File Number: SP-2017-04

Staff provided an overview of the site plan application, and the Committee reviewed the site plan and drawings and discussed accessibility standards to be considered as part of the site plan application.

**Moved by Councillor Abel
Seconded by Gordon Barnes**

1. That the memorandum regarding Site Plan Application, MBH Aurora Lodging GP Limited, Northeast Corner of Goulding Avenue and Eric T. Smith Way, Part of Lot 1, Registered Plan 65M-4324, Part 1, Plan 65R-35666, File Number: SP-2017-04, be received; and
2. The following Accessibility Advisory Committee comments regarding the Site Plan Application be considered by staff:
 - (a) Consideration by the applicant to install automatic door sliders;

Accessibility Advisory Committee Meeting Minutes
Wednesday, June 7, 2017

Page 3 of 5

- (b) Consideration to align accessible suites to the Building Code;
- (c) Consideration for Hoyer Lift-friendly beds in accessible suites;
- (d) Consideration for utility switches and amenities to be at wheelchair height in accessible suites;
- (e) Consideration for proper door closures for accessible suites and washrooms;
- (f) Consideration for accessible toilet height and amenities in accessible suites;
- (g) Consideration for barrier-free path of travel from accessible parking spaces to front entrance, ensuring the front structural pillar does not affect the path of travel;
- (h) Consideration for sliding automatic doors at main entrance with proper curb cuts;
- (i) Consideration for business centre and breakfast area to be accessible with accessible seating;
- (j) Consideration for accessible counter height for front reception area; and
- (k) Consideration for all main entries to public spaces, doorways, and routes of travel to have a clear width greater than 38 inches.

Carried

2. Memorandum from Planner

Re: Site Plan Application (Submission 3), 458201 Ontario Inc., 21 and 33 Eric T. Smith Way, Lots 8 and 9, Registered Plan 65M-4324, File Number: SP-2016-08

Staff provided an overview of the site plan application, and the Committee reviewed the site plan and drawings and discussed accessibility standards to be considered as part of the site plan application.

Moved by Councillor Abel

Seconded by Jo-anne Spitzer

1. That the memorandum regarding Site Plan Application (Submission 3), 458201 Ontario Inc., 21 and 33 Eric T. Smith Way, Lots 8 and 9, Registered Plan 65M-4324, File Number: SP-2016-08 be received; and

Accessibility Advisory Committee Meeting Minutes
Wednesday, June 7, 2017

Page 4 of 5

2. That that the following Accessibility Advisory Committee comments regarding the Site Plan Application be considered by staff:
 - (a) Request for the applicant to confirm the location and total number of parking spaces, including accessible parking spaces.

Carried

**Moved by James Hoyes
Seconded by Jo-anne Spitzer**

1. That the Applicant's submission be referred for consideration for a new award for outstanding achievement in accessibility standards.

Carried

**3. Extract from Council Meeting of April 25, 2017
Re: General Committee Report No. CS17-011 – 2018 Municipal Election
– Adoption of Voting Method, and Council Report No. CS17-015 –
Alternative Methods of Voting – Next Steps**

The Committee raised concerns, including providing barrier-free public access and ensuring that the internet voting platform is compatible with assistive technologies, which were addressed by the Town Clerk.

**Moved by James Hoyes
Seconded by Councillor Abel**

1. That Extract from Council Meeting of April 25, 2017 regarding General Committee Report No. CS17-011 – 2018 Municipal Election – Adoption of Voting Method, and Council Report No. CS17-015 – Alternative Methods of Voting – Next Steps and attached reports be received; and
2. That the comments and suggestions of the Committee regarding General Committee Report No. CS17-011 – 2018 Municipal Election – Adoption of Voting Method, and Council Report No. CS17-015 – Alternative Methods of Voting – Next Steps and attached reports be referred to staff for consideration and action as appropriate.

Carried

6. Informational Items

4. Extract from Council Meeting of March 28, 2017

Re: Accessibility Advisory Committee Meeting Minutes of February 1, 2017

Moved by Councillor Abel

Seconded by Gordon Barnes

1. That the Extract from Council Meeting of March 28, 2017, regarding the Accessibility Advisory Committee meeting minutes of February 1, 2017, be received for information.

Carried

7. New Business

The Chair acknowledged the Heritage Advisory Committee and its recent approval to modify a house to accommodate for accessibility.

The Committee discussed how best to actively recruit and engage Aurora residents who may be interested in getting involved for the upcoming term.

The Chair raised the idea of hosting an Accessibility Fair in September or October 2017. The Committee discussed venue options and potential collaborators, noting that the event could also offer a keynote speaker. Staff agreed to investigate and report back to the Committee.

8. Adjournment

Moved by Gordon Barnes

Seconded by Jo-anne Spitzer

That the meeting be adjourned at 5:40 p.m.

Carried

Committee recommendations are not binding on the Town unless adopted by Council at a later meeting.



100 John West Way
Box 1000
Aurora, ON L4G 6J1
Phone: 905-727-3123 Ext. 4343
Email: Lkuk@aurora.ca
www.aurora.ca

Planning and Building Services

INTERNAL MEMORANDUM

DATE: August 15, 2017

TO: B. Butler, Planning and Building Services
A. Bazar, Planning and Building Services
J. Healey, Planning and Building Services
S. Tienkamp, Parks, Recreation and Cultural Services
P. De Sario, Corporate Services
J. McDonald, Central York Fire Services
C. Catania, Accessibility Advisory Committee

CC: Mayor Dawe and Members of Council
D. Nadorozny, CAO
M. Ramunno, Director of Planning and Building Services
A. Mihail, Infrastructure and Environmental Services
Council Secretariat, Corporate Services

FROM: Lawrence Kuk, Planning and Building Services

Re: **Application for Minor Site Plan Amendment
Roman Catholic Episcopal Corp.
15347 Yonge Street
File Number: SP-2017-06**

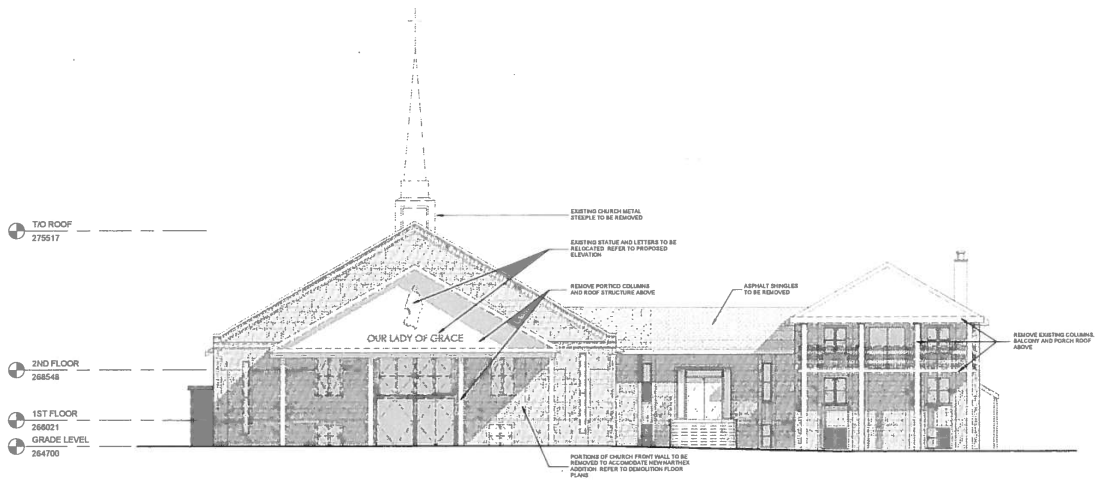
A Site Plan Application has been submitted to the Planning and Building Services department for review. The Applicant is proposing an expansion to the existing church, together with a new steeple, reconfiguration of the existing parking area and restoration to the historical portion of the house fronting on Catherine Street.

Please find enclosed copies of the following materials submitted in conjunction with the subject application.

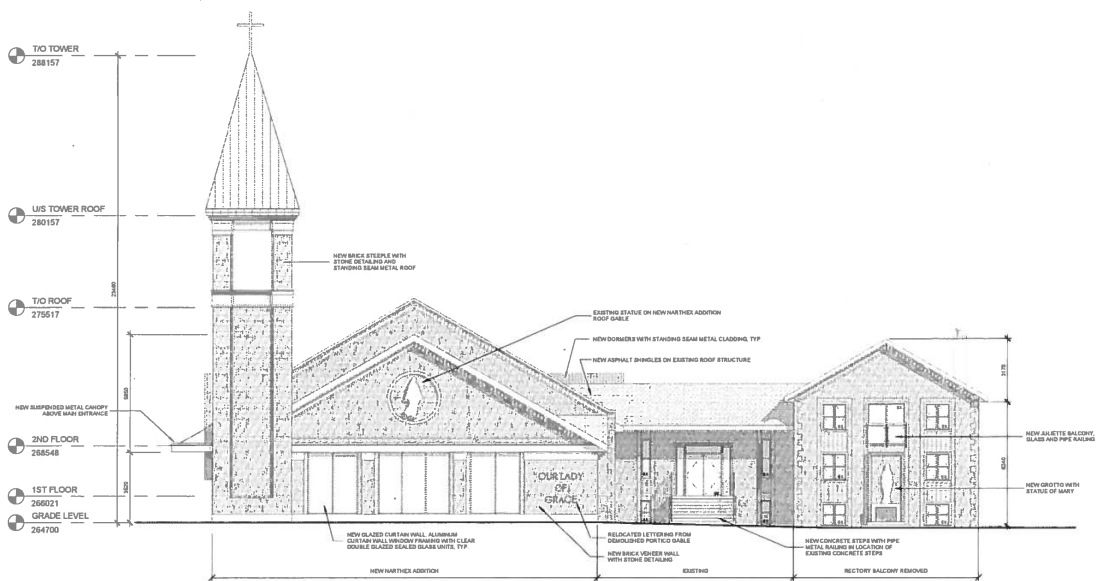
I would appreciate receiving your comments by September 5, 2017.

Should you have any questions regarding the above noted proposal, please feel free to contact me.

Attach.



1 WEST ELEVATION - DEMOLITION
 A1.20 1:100



2 PROPOSED WEST ELEVATION
 A1.20 1:100

CLIENT
 ROMAN CATHOLIC EPISCOPAL CORPORATION FOR THE DIOCESE OF TORONTO IN CANADA

ARCHITECT
 larkin architect limited
 208 BRIMLEY AVENUE TORONTO, ONTARIO M6G 2G7 TEL: 416-593-8888 FAX: 416-593-3145

CONSTRUCTION NORTH
 PROFESSIONAL STAMP
 ASSOCIATION OF ARCHITECTS OF ONTARIO

DATE: 11/17/16
 DRAWN: S.J.
 CHECKED: R.C.
 SCALE: 1:100
 DRAWING: WEST ELEVATION

REVISION SCHEDULE

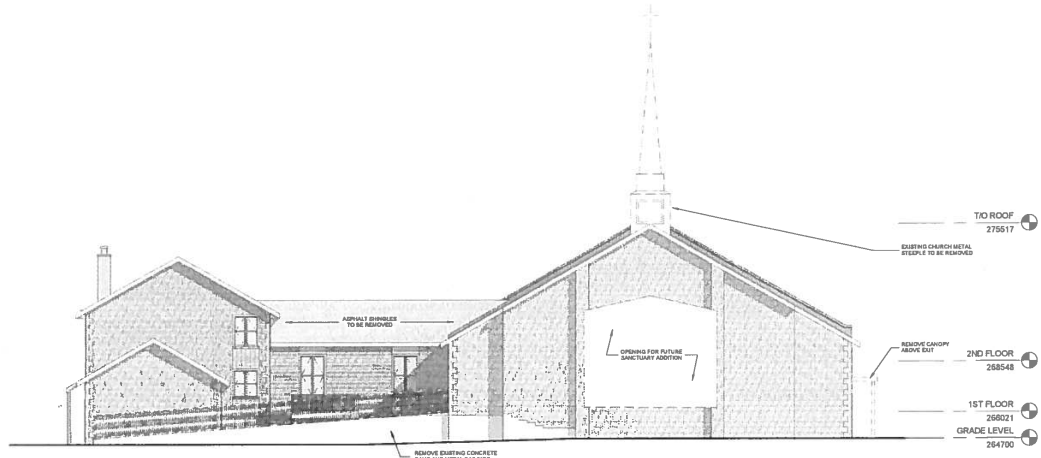
NO.	ISSUED FOR SPA	DESCRIPTION	DATE
1			

PROJECT
 OUR LADY OF GRACE NARTHEX ADDITION
 15347 YONGE STREET
 AURORA, ON L4G 1N7

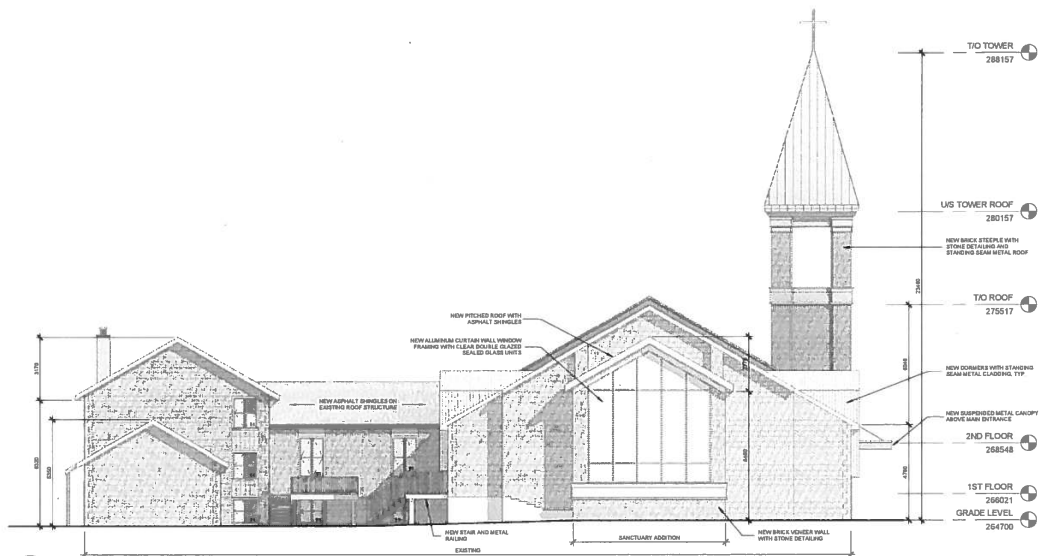
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 CHECKED: R.C.
 SCALE: 1:100
 DRAWING: WEST ELEVATION

A1.20

DATE: 11/17/16



1 EAST ELEVATION - DEMOLITION
 AT.22 1:100



2 PROPOSED EAST ELEVATION
 AT.22 1:100

CLIENT
 ROMAN CATHOLIC EPISCOPAL CORPORATION FOR THE DIOCESE OF TORONTO IN CANADA

ARCHITECT
 larkin architect limited
 238 BRIMCOMBE AVENUE TORONTO, ONTARIO M6G 1R7
 TEL: 416-593-8888 FAX: 416-594-3148

CONSTRUCTION NORTH

PROFESSIONAL STAMP

CONSULTANTS
 MECHANICAL ENGINEERING: [Redacted]
 ELECTRICAL ENGINEERING: [Redacted]
 CIVIL ENGINEERING: [Redacted]
 STRUCTURAL ENGINEERING: [Redacted]
 LANDSCAPE ARCHITECTURE: [Redacted]
 ENVIRONMENTAL ENGINEERING: [Redacted]
 GEOTECHNICAL ENGINEERING: [Redacted]
 ARCHITECTURAL RENDERING: [Redacted]
 PHOTOGRAPHY: [Redacted]

NO.	ISSUED FOR RFP	DATE
1	ISSUED FOR RFP	03/07/2017

REVISION SCHEDULE

PROJECT
 OUR LADY OF GRACE NARTHEX ADDITION
 15347 YONGE STREET
 AURORA, ON L4G 1N7

DRAWN: S.J. PROJECT NO: 1615
 CHECKED: R.C.
 SCALE: 1:100

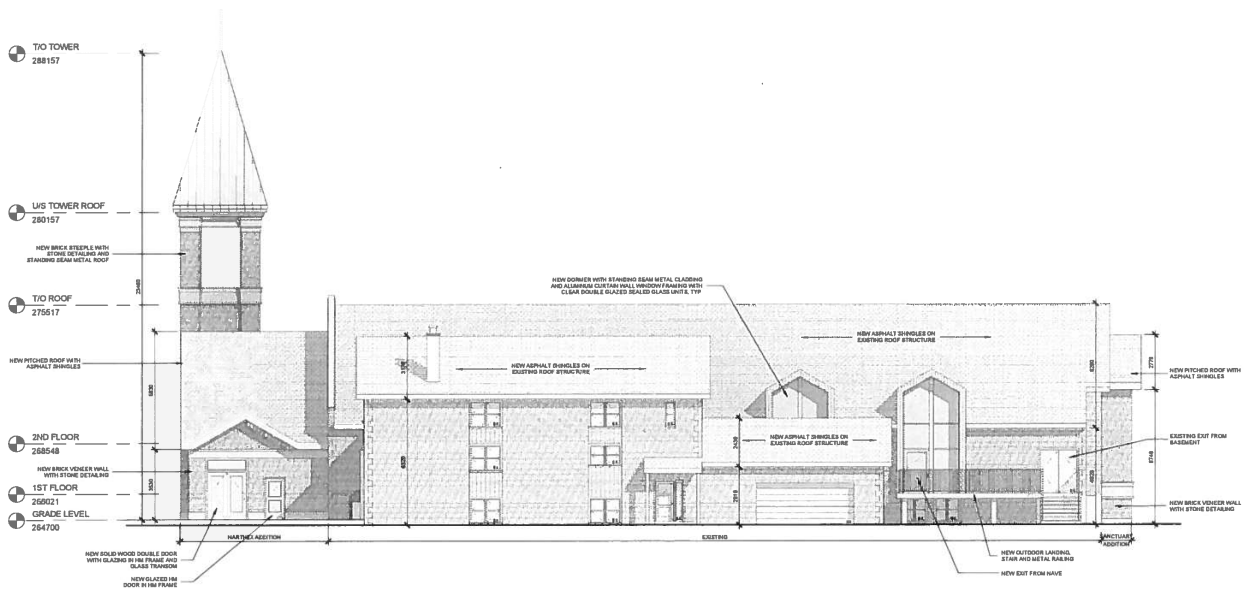
DRAWING: EAST ELEVATION

A1.22

2/10/2017 11:40 AM



1 SOUTH ELEVATION - DEMOLITION
 A1.23 1:100



2 PROPOSED SOUTH ELEVATION
 A1.23 1:100

CLIENT
 ROMAN CATHOLIC EPISCOPAL CORPORATION FOR THE DIOCESE OF TORONTO IN CANADA

ARCHITECT
 larkin architect limited
 208 BRIMCOMBE AVENUE TORONTO, ONTARIO M5G 2E7 TEL: (416) 664-8866 FAX: (416) 664-8146

CONSTRUCTION METHOD
 PROFESSIONAL STAMP

CONTRACTS
 SCHEMATIC DEVELOPMENT
 15347 YONGE STREET TORONTO, ONTARIO M3J 1P7
 (416) 771-1700
 3D/3D RENDERING
 15347 YONGE STREET TORONTO, ONTARIO M3J 1P7
 (416) 771-1700
 EXISTING CONDITIONAL
 15347 YONGE STREET TORONTO, ONTARIO M3J 1P7
 (416) 771-1700
 EXISTING CONDITIONAL
 15347 YONGE STREET TORONTO, ONTARIO M3J 1P7
 (416) 771-1700
 EXISTING CONDITIONAL
 15347 YONGE STREET TORONTO, ONTARIO M3J 1P7
 (416) 771-1700
 EXISTING CONDITIONAL
 15347 YONGE STREET TORONTO, ONTARIO M3J 1P7
 (416) 771-1700

NO.	ISSUED FOR SPA	DESCRIPTION	DATE
1	ISSUED FOR SPA		

REVISION SCHEDULE

PROJECT
 OUR LADY OF GRACE NARTHEX ADDITION
 15347 YONGE STREET AURORA, ON L4G 1W7

DRAWN
 S.J. PROJECT NO
 1615

CHECKED
 R.C.

SCALE
 1:100

DRAWING
 SOUTH ELEVATION

A1.23

DATE: 11/14/16



1 EXISTING EAST ELEVATION
 A2.20 1:50



2 PROPOSED EAST ELEVATION
 A2.20 1:50



3 EXISTING WEST ELEVATION
 A2.20 1:50



4 PROPOSED WEST ELEVATION
 A2.20 1:50

CLIENT
 ROMAN CATHOLIC EPISCOPAL CORPORATION FOR THE DIOCESE OF TORONTO IN CANADA

ARCHITECT
la larkin architect limited
 216 BRIMLEY AVENUE TORONTO, ONTARIO M6E 2B7 TEL: 416 504-5145 FAX: 416 504-5145

CONSTRUCTION NORTH PROFESSIONAL STAMP

GENERAL NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA AND ALL APPLICABLE BY-LAWS AND ORDINANCES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.

CONTRACTS
 MEASUREMENTS
 ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA AND ALL APPLICABLE BY-LAWS AND ORDINANCES.
 ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA AND ALL APPLICABLE BY-LAWS AND ORDINANCES.

REVISION SCHEDULE

NO.	REVISION	DATE
1	ISSUED FOR SPA	2/10/17

PROJECT
 OUR LADY OF GRACE HOUSE ADDITION
 16 CATHERINE AVENUE
 AURORA, ON L4G 1W5

DRAWN
 S.J. 1615

CHECKED
 R.C.

SCALE
 1:50

DRAWING
 PARISH HOUSE - EAST AND WEST ELEVATIONS

A2.20

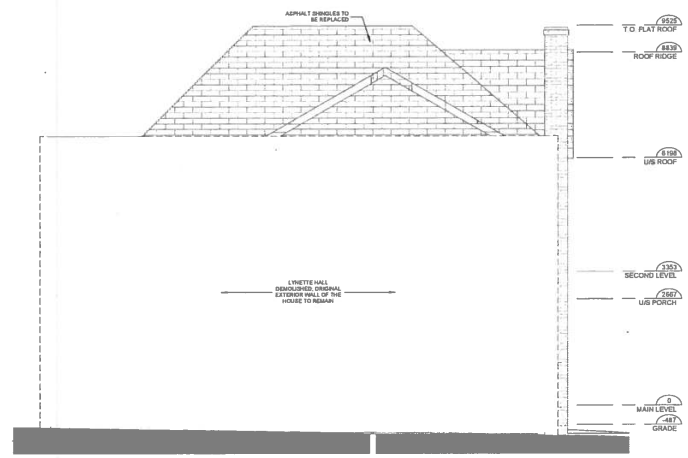
REVISED 10/11/17



1
A2.21
 EXISTING SOUTH ELEVATION
 1: 50



2
A2.21
 PROPOSED SOUTH ELEVATION
 1: 50



3
A2.21
 EXISTING NORTH ELEVATION
 1: 50



4
A2.21
 PROPOSED NORTH ELEVATION
 1: 50

CLIENT
 ROMAN CATHOLIC EPISCOPAL CORPORATION FOR THE DIOCESE OF TORONTO IN CANADA

ARCHITECT
la larkin architect limited
 258 BRIMMADEN AVENUE TEL: 416-596-0864
 TORONTO, ONTARIO FAX: 416-596-3148
 2009-2017

CONSTRUCTION NORTH
 PROFESSIONAL STAMP

GENERAL NOTES
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE (CNBC) AND ALL APPLICABLE BY-LAWS AND ORDINANCES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE APPLICABLE AUTHORITIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 5. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 6. ALL FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
 9. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE APPLICABLE AUTHORITIES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.

CONSULTANTS
 REGULAR CONSULTANTS
 GEOTECHNICAL ENGINEER
 258 BRIMMADEN AVENUE
 TORONTO, ONTARIO M5G 1K4
 416-596-0864
 416-596-3148

ELECTRICAL CONSULTANT
 258 BRIMMADEN AVENUE
 TORONTO, ONTARIO M5G 1K4
 416-596-0864
 416-596-3148

MECHANICAL CONSULTANT
 258 BRIMMADEN AVENUE
 TORONTO, ONTARIO M5G 1K4
 416-596-0864
 416-596-3148

LANDSCAPE CONSULTANT
 258 BRIMMADEN AVENUE
 TORONTO, ONTARIO M5G 1K4
 416-596-0864
 416-596-3148

NO.	DESCRIPTION	DATE
1	ISSUED FOR RFP	2/15/2017

REVISION SCHEDULE

PROJECT
 OUR LADY OF GRACE HOUSE ADDITION
 18 CATHERINE AVENUE
 AURORA, ON L4G 1K6

DRAWN
 S.J. PROJECT NO
 1615

CHECKED
 R.C. SCALE
 1: 50

DRAWING
 PARISH HOUSE - NORTH AND SOUTH ELEVATIONS

A2.21

DATEPLOT: 11/18/2017



100 John West Way
Box 1000
Aurora, ON L4G 6J1
Phone: 905-727-3123 Ext. 4342
Email: ffilipetto@aurora.ca
www.aurora.ca

Planning and Building Services

INTERNAL MEMORANDUM

DATE: August 22, 2017

TO: B. Butler, Planning and Building Services
S. Sample, Planning and Building Services
G. Greidanus, Parks, Recreation and Cultural Services
J. Van Scheyndel, Corporate Services
S. Stein, Central York Fire Services
C. Catania, Accessibility Advisory Committee

FROM: Fausto Filipetto, Planning and Building Services

Re: **Site Plan Application (Submission 2)**
MBH Aurora Lodging GP Limited
Northeast Corner of Goulding Avenue and Eric T. Smith Way
Part of Lot 1, Registered Plan 65M-4324
Part 1, Plan 65R-35666
File Number: SP-2017-04

Attached please find the second submission of the above noted site plan application for your review. Please review this proposal and provide us with your comments and/or any recommended revisions that you may require by **Tuesday, September 5, 2017**.

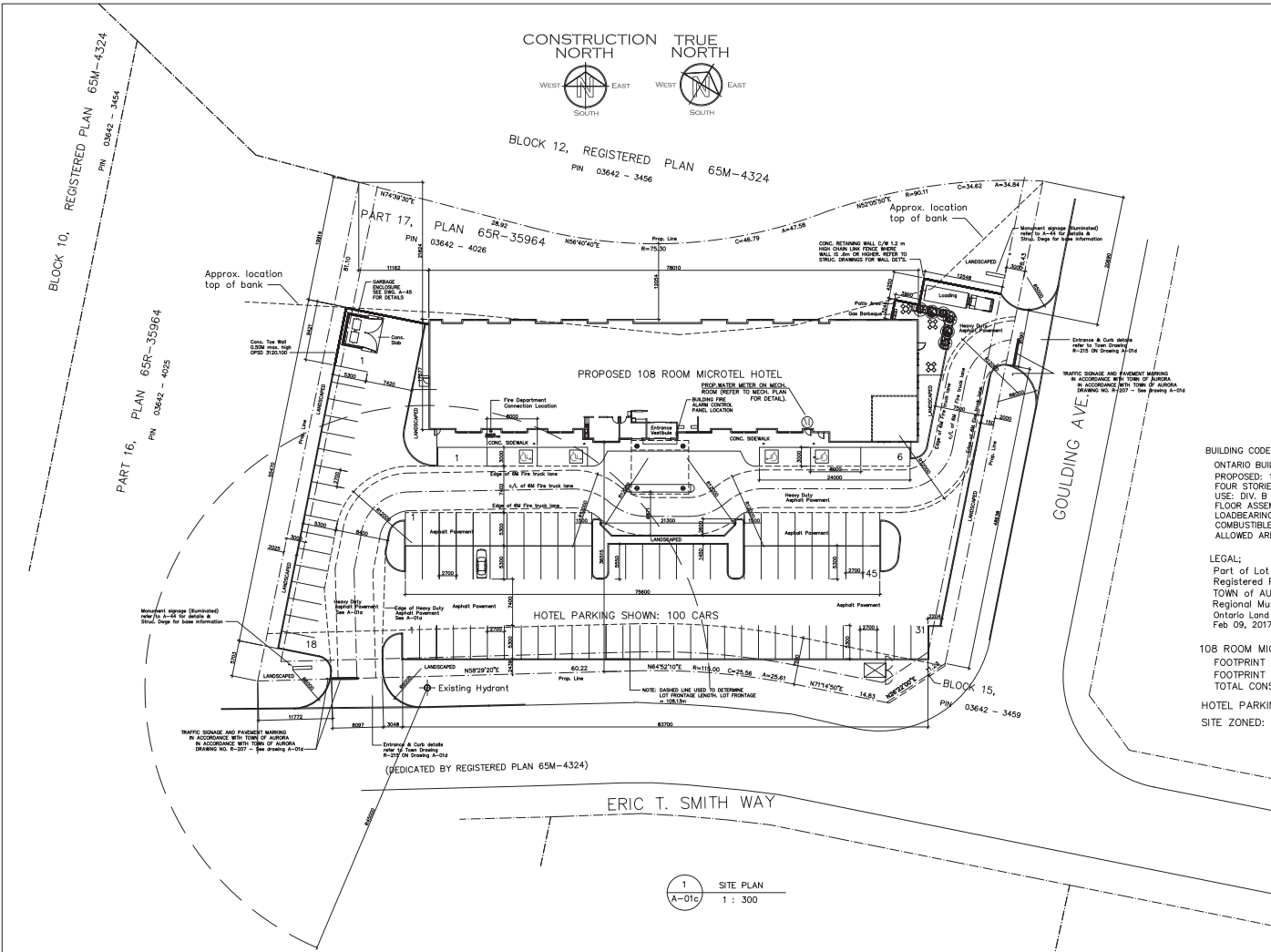
Should you have any questions regarding the above, please feel free to contact me.

Yours truly,

A handwritten signature in blue ink, appearing to read "Fausto Filipetto", is written over a light blue horizontal line.

Fausto Filipetto, B.A.A., M.C.I.P., R.P.P.
Senior Policy Planner
Planning and Building Services

Attach.



BUILDING / SITE INFORMATION:

A	EXISTING AND/OR PROPOSED ZONING	BP-4i
B	LOT FRONTAGE (Eric T. Smith Way)	108.13 m
C	LOT AREA - 87,039 sq. ft. (1,998 Acres)	8,086.2 M ² (8,086.60)
D	TOTAL GROSS FLOOR AREA	51,586 SQ. FT. (4,792.5 M ²)
E	BUILDING SET BACKS - FROM PROPERTY LINE	
	FRONT SET BACK	36.515M
	EAST SIDE SET BACK	10.696M
	WEST SIDE SET BACK	15.850M
	REAR SET BACK	11.800M
F	FLOOR AREA RATIO	4,792.5 M ² out of 8,086.2 M ²
G	TOTAL CONSTRUCTION AREA DIVIDED BY SITE AREA	=17.5 %
H	NUMBER OF STORES	4
I	FLOOR AREA	
	MAIN	15,214 SQ. FT. (1,413.5 M ²)
	SECOND	12,124 SQ. FT. (1,126.4 M ²)
	THIRD	12,124 SQ. FT. (1,126.4 M ²)
	FOURTH	12,124 SQ. FT. (1,126.4 M ²)
J	TOTAL CONSTRUCTION AREA	51,586 SQ. FT. (4,792.5 M ²)
K	LANDSCAPED STREETS	108
L	LANDSCAPED STREETS	12
M	NUMBER OF ACCESSIBLE SUITES	12
N	TOTAL LANDSCAPE AREA	-
O	LANDSCAPED AREA (AS % OF SITE)	-
P	LANDSCAPED AREA	-
Q	NUMBER OF PARKING STALLS FOR SUITES	-
R	NUMBER OF PARKING STALLS FOR STREET	-
S	NUMBER OF DISABLED PARKING STALLS	4
T	NUMBER OF LOADING STALLS	1
U	ADJACENT PROPERTY ZONES & USES	
	NORTH	
	SOUTH	
	EAST	
	WEST	

BUILDING CODE DATA
 ONTARIO BUILDING CODE 2012
 PROPOSED: 108 ROOM HOTEL
 FOUR STORES FULLY SPRINKLERED
 USE: DIV. B - 3.2.2.45
 FLOOR ASSEMBLIES 1 HOUR FIRE RESISTANCE RATING
 LOADBEARING WALLS 1 HOUR FIRE RESISTANCE RATING
 COMBUSTIBLE OR NON COMBUSTIBLE CONSTRUCTION ALLOWED
 ALLOWED AREA = 1,800 m² (Have 1,413.5 m²)

LEGAL:
 Part of Lot 1
 Registered Plan 65 M-4324
 TOWN OF AURORA
 Regional Municipality of York
 Ontario Land Surveyors
 Feb 09, 2017

108 ROOM MICROTEL HOTEL (Four Stories)
 FOOTPRINT AREA MAIN FLOOR (With Pool & Slide) = 15,332.95 SQ. FT. (1,424.5 m²)
 FOOTPRINT AREA 2-4th FLOORS = 12,244.75 SQ. FT. (1,137.6 M²) / Floor
 TOTAL CONSTRUCTION AREA (4-FLOORS) = 52,067.2 SQ. FT. (4,837.2 M²)

HOTEL PARKING SHOWN: 100 CARS
 SITE ZONED: BP-4i

NOTE: FOR TOWN STANDARD NOTES
 FOR SITE PLANS REFER TO SITE
 DETAIL DRAWING A-01d

- ▲ AUG 14 2017 REVISION
SEE REV. FOR CORRECTING OF STAIRS
- ▲ AUG 06 2017 REVISION
REVISE ROOMS WITH LEVELS
- ▲ AUG 06 2017 REVISION
ADD CIVIL SITE INFO TO ARCH SITE PLAN
- ▲ MAY 03, 2017 REVISION
-SHOW FIRE TRUCK ROUTE ON SITE PLAN
-SHOW SHARED CONNECTION ON SITE PLAN & MAIN FLOOR PLAN
-ADJUSTMENT OF ACCESSIBLE SUITES CHANGED THE SHIPMENT OF THE REAR WALL. THIS BUILDING FOOT PRINT CHANGED, BUT DID NOT CHANGE THE FOOT PRINT AREA
- ▲ MAR 22, 2017 REVISION
-SETTING EXERCISE ROOM (AND 3 FLOORS OVER)
FROM GRID 3 TO GRID 7, TO GRIDS J AND K

1 SITE PLAN
 A-01c 1 : 300

R. W. SCHEIDT DESIGN
 1683 BLONDEAUX CR.
 KELOWNA, B.C. V1Y 4J8
 PHONE: (250) 860-5061
 E MAIL: SCHEIDTDESIGN@SHAW.CA

RE-ISSUED FOR SPA AUG 15 2017

PROJECT NAME	MICROTEL HOTEL		
PROJECT ADDRESS	AURORA, ONTARIO		
DRAWING TITLE	SITE PLAN - Cleaned up for Clarity		
DESIGN	DRAW	SCALE	DATE
		1:300	AUG 14 2017
			A-01c

Main Floor Plan
1" = 10'-0"

Area Main Floor = 15,332.95 SQ. FT. (1,424.5 m²)

SUITE LEGEND MICROTEL HOTEL

SUITE TYPE	A		B		B ₁		C		D		D ₁		D ₂		E		F		FLOOR TOTAL
	Single	Queen	Queen	Queen	Queen	Queen	Queen	Queen	Queen	Queen	Queen	Queen	Queen	Queen	Queen	Queen	Queen	Queen	
MAIN FLOOR	-	-	3	1	6	-	-	-	-	-	1	2	1	2	13				
SECOND FLOOR	1	-	12	2	11	2	1	1	2	32									
THIRD FLOOR	-	12	-	2	11	2	1	1	2	31									
FOURTH FLOOR	1	12	-	2	11	2	1	1	2	32									
TOTAL	2	24	15	7	39	6	3	4	8	108									

TOTAL NUMBER OF SUITES = 108

CONSTRUCTION AREAS:

FOOTPRINT AREA BUILDING (Main Ftr.): 15,332.95 SQ. FT. (1,424.5 m²)
 CONSTRUCTION AREA 2ND. FLOOR: 12,244.75 SQ. FT. (1,137.6 M²)
 CONSTRUCTION AREA 3RD. FLOOR: 12,244.75 SQ. FT. (1,137.6 M²)
 CONSTRUCTION AREA 4TH. FLOOR: 12,244.75 SQ. FT. (1,137.6 M²)
TOTAL CONSTRUCTION AREA 108 ROOMS = 52,067.2 SQ. FT. (4,837.2 M²)

PROJECT DATA:
 PROVINCE: ONTARIO
 USING: ONTARIO BUILDING CODE 2012
 GROUP C - 3.2-2.45
 4 - 5 STORIES
 COMBUSTIBLE OR NON COMBUSTIBLE CONSTRUCTION FULLY SPRINKLERED.
 FLOOR ASSEMBLIES-FIRE SEPARATION WITH 1 HOUR FIRE RESISTANCE RATING.
 LOADBEARING WALLS & COLUMNS 1 HOUR FIRE RESISTANCE RATING.

PROPOSED 108 ROOM MICROTEL HOTEL
 CIVIC ADDRESS
 180 GOULDING AVENUE
 LEGAL DESCRIPTION
 TO BE DETERMINED

NOTE: ARCHITECTURAL PLANS DRAWN AT SCALE OF 1"=10' SHOW 208 EXTERIOR WALLS BUT BUILDING EXTERIOR WALLS SHALL BE 208 CONSTRUCTION AS SHOWN IN PLAN DETAILS AND SECTIONS BUILDING FOOT PRINT AREA SHALL REMAIN THE SAME EXTERIOR FACE OF STUD TO ALIGN WITH FACE OF FOUNDATION WALL.

NOTES:

- Public Toilets on main floor to have open front seats, no lid.
- All exposed interior Gas lines to be taped and labeled with pressure.
- Flame spread ratings in public areas to conform to Provincial Building Code
- Corridors to conform to Provincial Building Code
- Install fire extinguisher cabinet, near each exit stair access door. The Fire extinguisher cabinet is located in 1 hr rated wall. The fire rating must be maintained around the fire extinguisher cabinet. Location and quantities of fire extinguishers per floor to be confirmed with building code and local authority having jurisdiction. See detail 2/A-27 (fire separation dwg)
- Suite Bathroom plumbing walls to be 6" steel studs & Drywall & 'Densshield' in wet areas. Coordinate with the locations of millwork blocking/bracing requirements.

REVISIONS:

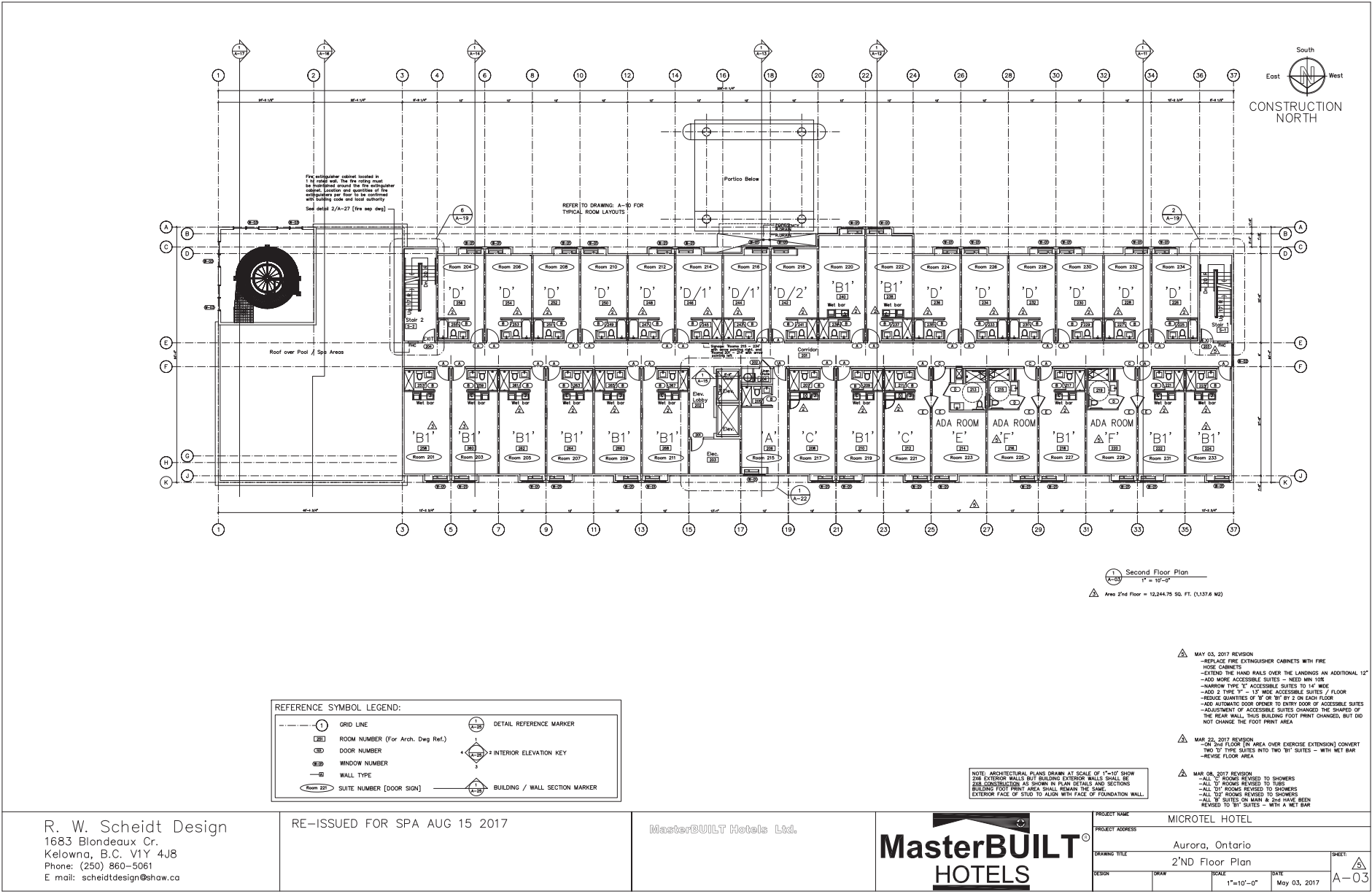
- MAY 03, 2017 REVISION
 - ADD ADA LIFT SOCKET AT BOTH POOL & SPA
 - REPLACE FIRE EXTINGUISHER CABINETS WITH FIRE HOSE CABINETS
 - SHOW SAMESE CONNECTION ON SITE PLAN & MAIN FLR PLAN
 - ADD SECOND UNIVERSAL WHEEL POOL AREA
 - EXTEND THE HAND RAILES OVER THE LANDINGS AN ADDITIONAL 12"
 - ADD AUTOMATIC DOOR OPENER TO DOORS 127 & 128
 - ADD MORE ACCESSIBLE SUITES - NEED MIN 10R
 - NARROW TYPE 1' ACCESSIBLE SUITES TO 14" WIDE
 - ADD 2 TYPE 'F' - 13" WIDE ACCESSIBLE SUITES / FLOOR
 - REMOVE QUANTITIES OF 'B' OR 'B1' 2 ON EACH FLOOR
 - ADD AUTOMATIC DOOR OPENER TO ENTRY DOOR OF ACCESSIBLE SUITES
 - ADJUSTMENT OF ACCESSIBLE SUITES CHANGED THE SHARD OF THE REAR WALL THUS BUILDING FOOT PRINT CHANGED, BUT DID NOT CHANGE THE FOOT PRINT AREA
- APRIL 18, 2017 REVISION
 - RELOCATE STACKED WASHER DRYERS FROM MAIN LAUNDRY ROOM (123) TO GUEST LAUNDRY (121)
- MAR 22, 2017 REVISION
 - EXTEND EXERCISE ROOM (AND 3 FLOORS OVER) FROM GRID 3 TO GRID 7, TO GRIDS J AND K
 - REMOVE FOOT PRINT AREA AND FLOOR AREAS
- MAR 06, 2017 REVISION
 - ALL 'C' ROOMS REVISED TO SHOWERS
 - ALL 'D' ROOMS REVISED TO TUBS
 - ALL 'D1' ROOMS REVISED TO SHOWERS
 - ALL 'D2' ROOMS REVISED TO SHOWERS
 - ALL 'F' SUITES ON MAIN & 2ND HAVE BEEN REVISED TO 'B1' SUITES - WITH A NET BAR
- MAR 06, 2017 REVISION
 - ADD Sprinkler/Water Meter room on main floor
- AUG 11 2017 REVISION
 - NORTH WALL DOORS REMOVED

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 E mail: scheidtdesign@shaw.ca

RE-ISSUED FOR SPA AUG 15 2017

MasterBUILT Hotels Ltd.

PROJECT NAME: MICROTEL HOTEL
 PROJECT ADDRESS: Aurora, Ontario
 DRAWING TITLE: Main Floor Plan
 DESIGN: [] DRAW: [] SCALE: 1"=10'-0" DATE: May 03, 2017
 SHEET: A-02



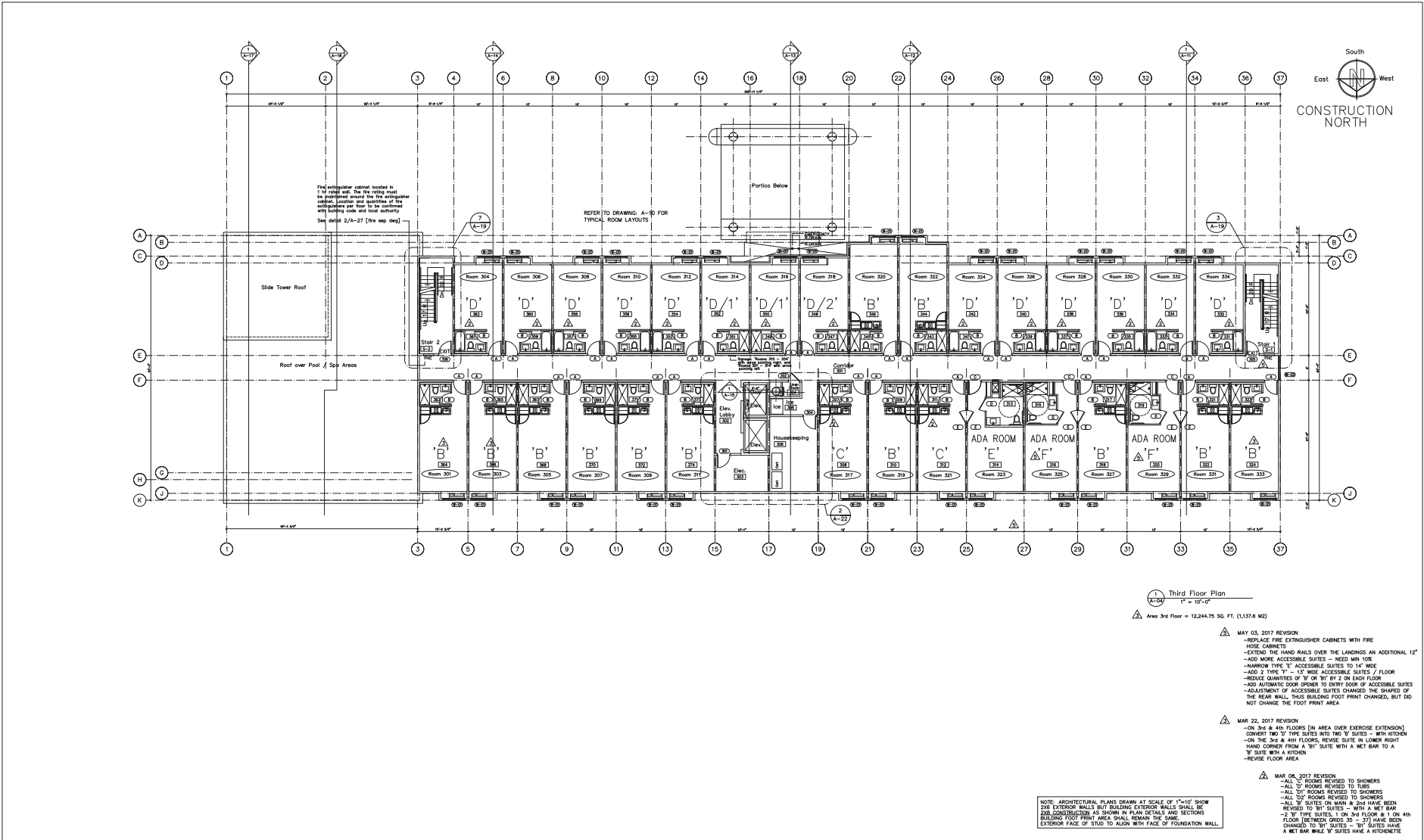
R. W. Scheidt Design
 1683 Blondeaux Cr.
 Kelowna, B.C. V1Y 4J8
 Phone: (250) 860-5061
 E mail: scheidtdesign@shaw.ca

RE-ISSUED FOR SPA AUG 15 2017

MasterBUILT Hotels Ltd.



PROJECT NAME	MICROTEL HOTEL
PROJECT ADDRESS	Aurora, Ontario
DRAWING TITLE	2'ND Floor Plan
DESIGN	SCALE
DATE	DATE
1"=10'-0"	May 03, 2017
SHEET	A-03



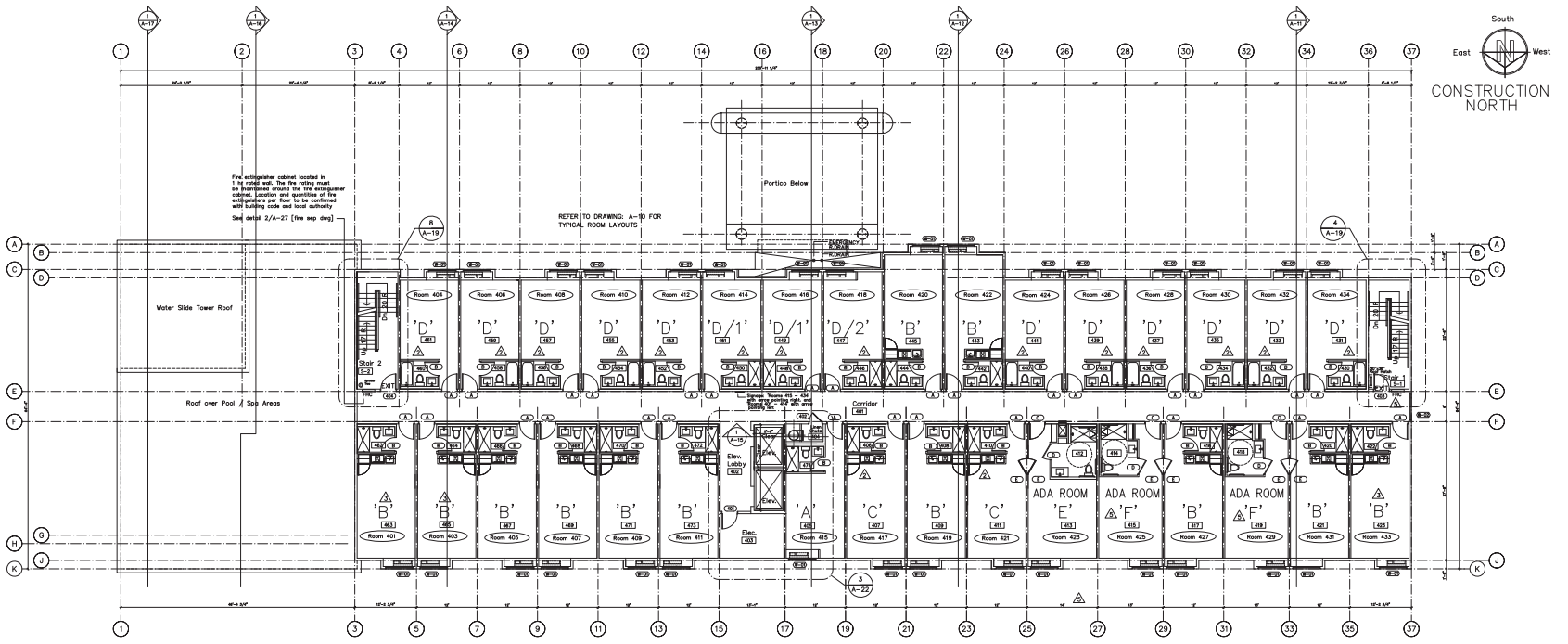
R. W. Scheidt Design
 1683 Blondeaux Cr.
 Kelowna, B.C. V1Y 4J8
 Phone: (250) 860-5061
 E mail: scheidtdesign@shaw.ca

RE-ISSUED FOR SPA AUG 15 2017

MasterBUILT Hotels Ltd.



PROJECT NAME	MICROTEL HOTEL		
PROJECT ADDRESS	Aurora, Ontario		
DRAWING TITLE	3'RD. Floor Plan		
DESIGN	DRAW	SCALE	DATE
		1"=10'-0"	May 03, 2017
SHEET			A-04



1 Fourth Floor Plan
 Area 4th Floor = 12,244.75 SQ. FT. (1,137.6 M2)

- MAY 03, 2017 REVISION
 - REPLACE FIRE EXTINGUISHER CABINETS WITH FIRE HOSE CABINETS
 - EXTEND THE HAND RAILS OVER THE LANDINGS AN ADDITIONAL 12"
 - ADD MORE ACCESSIBLE SUITES - NEED MIN 106
 - NARROW TYPE 'E' ACCESSIBLE SUITES TO 14' WIDE
 - ADD 2 TYPE 'F' - 13' WIDE ACCESSIBLE SUITES / FLOOR
 - REDUCE QUANTITIES OF 3' OR 30" BY 2 ON EACH FLOOR
 - ADD AUTOMATIC DOOR OPENER TO ENTRY DOOR OF ACCESSIBLE SUITES
 - ADJUSTMENT OF ACCESSIBLE SUITES CHANGED THE SHAPED OF THE REAR WALL, THIS BUILDING FOOT PRINT CHANGED, BUT DID NOT CHANGE THE FOOT PRINT AREA.
- MAR 22, 2017 REVISION
 - ON 2ND & 4TH FLOORS [IN AREA OVER EXERCISE EXTENSION] CONVERT TWO 12' TYPE SUITES INTO TWO 8' SUITES - WITH KITCHEN
 - ON THE 2ND & 4TH FLOORS, REVISE SUITE IN LOWER RIGHT HAND CORNER FROM A 8' SUITE WITH A WET BAR TO A 9' SUITE WITH A KITCHEN
 - REVISE FLOOR AREA
- MAR 03, 2017 REVISION
 - ALL 12' ROOMS REVISED TO SHOWERS
 - ALL 12' ROOMS REVISED TO SUITES
 - ALL 10' ROOMS REVISED TO SHOWERS
 - ALL 10' ROOMS REVISED TO SUITES
 - ALL 8' SUITES ON MAIN & 2ND HAVE BEEN REVISED TO 8' SUITES - WITH A WET BAR
 - 2 8' FIRE SUITES, 1 ON 2ND FLOOR & 1 ON 4TH FLOOR [BETWEEN GRIDS 35 - 37] HAVE BEEN CHANGED TO 10' SUITES - 8' SUITES HAVE A WET BAR WHILE 10' SUITES HAVE A KITCHENETTE

NOTE: ARCHITECTURAL PLANS DRAIN AT SCALE OF 1"=10' SHOW 2X6 EXTERIOR WALLS BUT BUILDING EXTERIOR WALLS SHALL BE 2X8 CONSTRUCTION AS SHOWN IN PLAN DETAILS AND SECTIONS. BUILDING FOOT PRINT AREA SHALL REMAIN THE SAME. EXTERIOR FACE OF STUDY TO ALIGN WITH FACE OF FOUNDATION WALL.

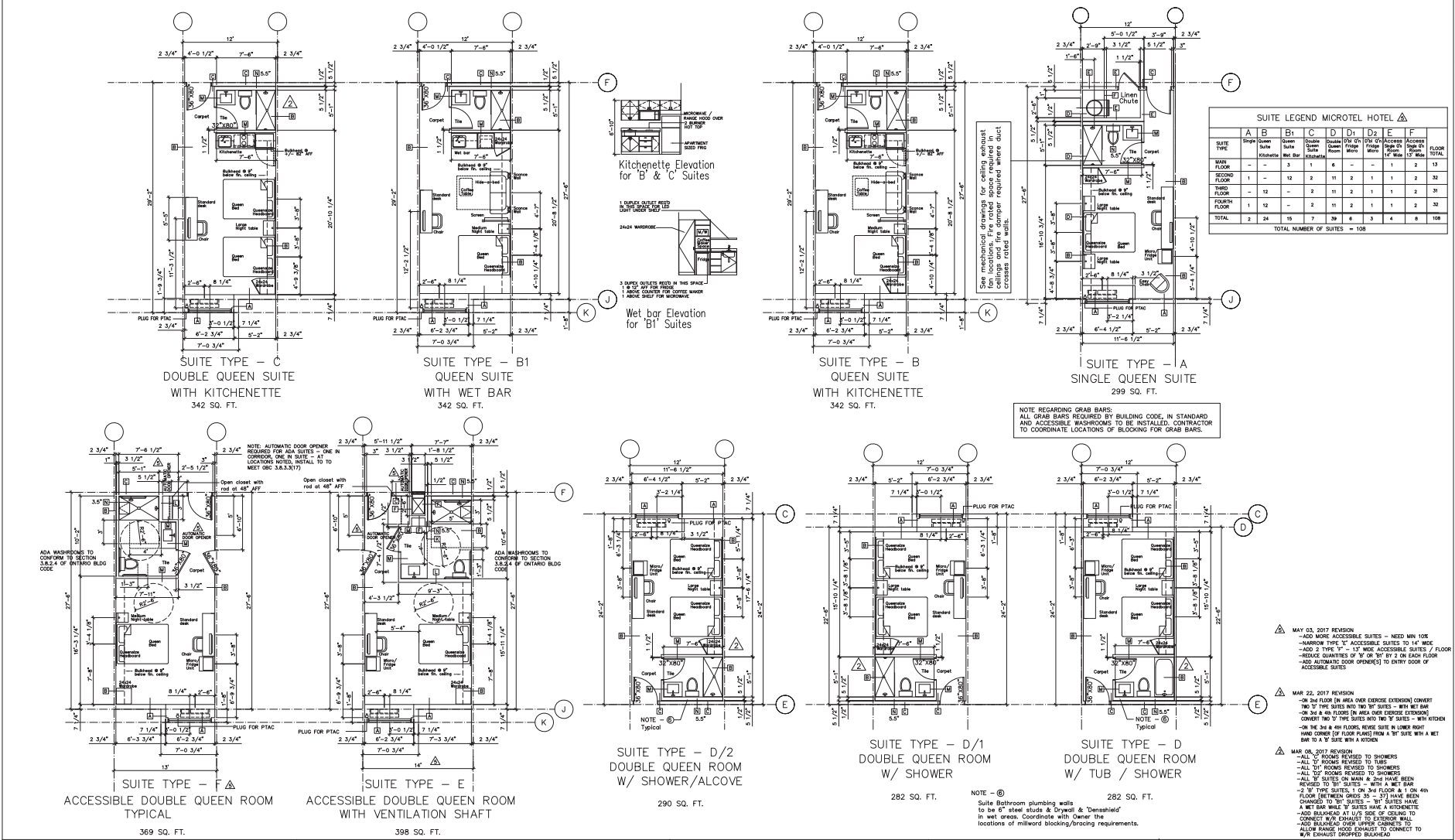
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 Phone: (250) 860-5061
 E mail: scheidtdesign@shaw.ca

RE-ISSUED FOR SPA AUG 15 2017

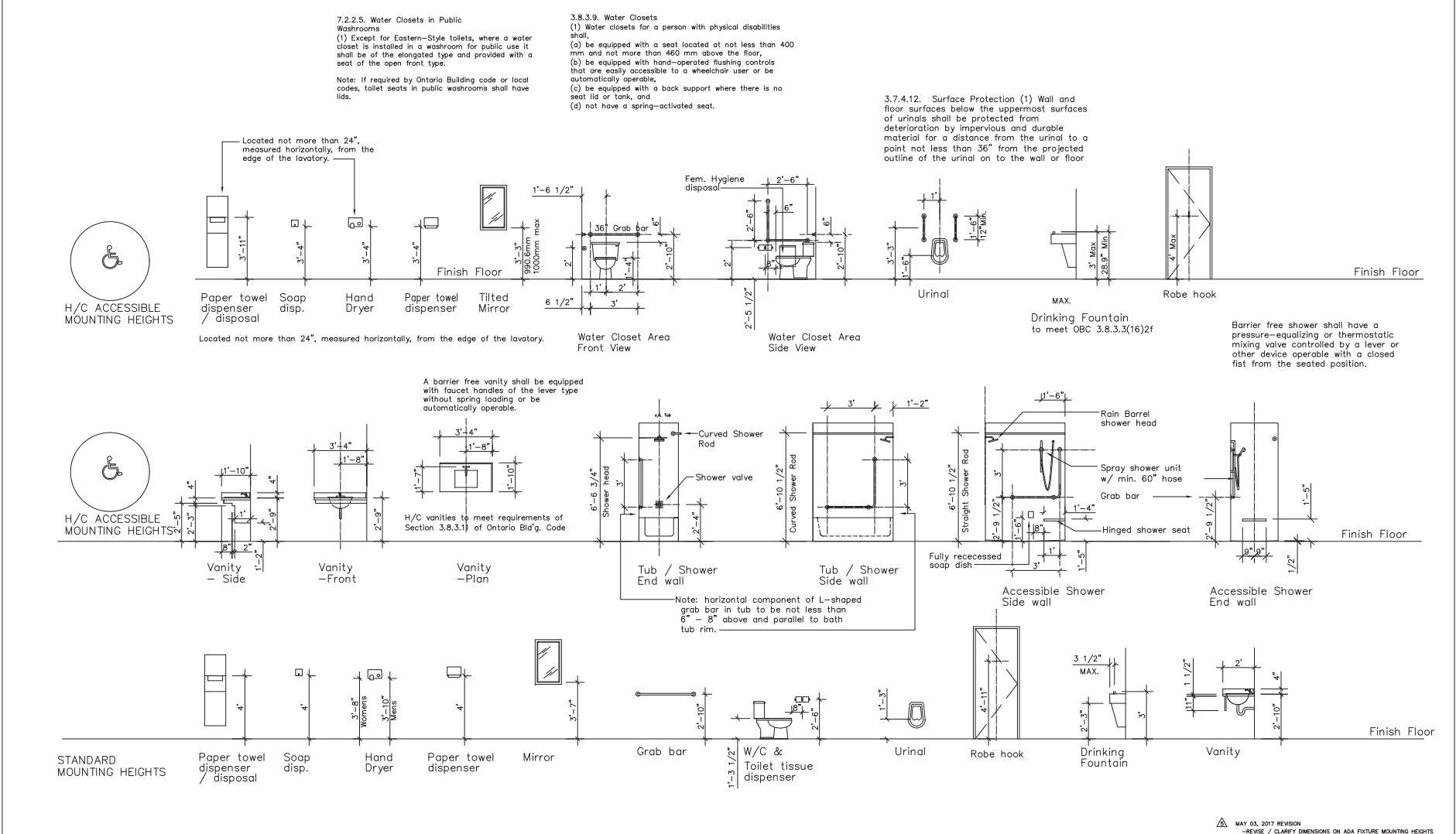
MasterBUILT Hotels Ltd.



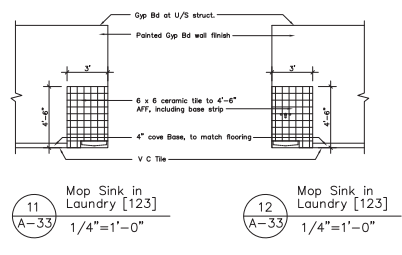
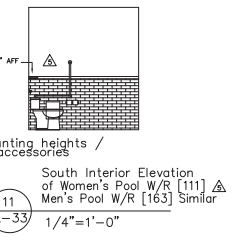
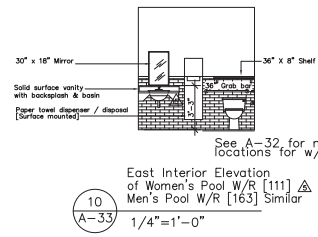
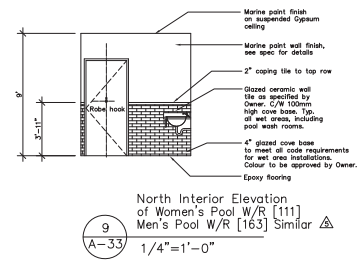
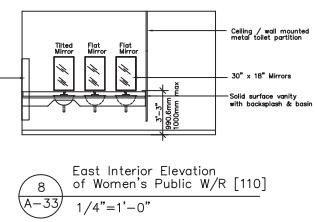
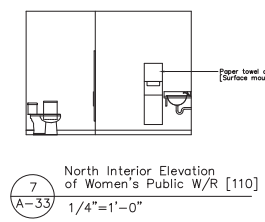
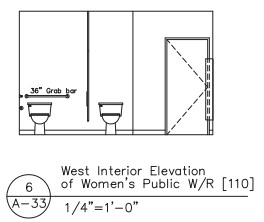
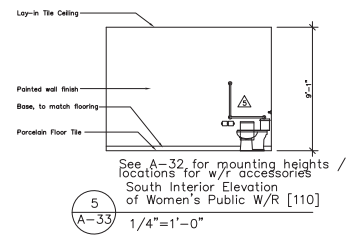
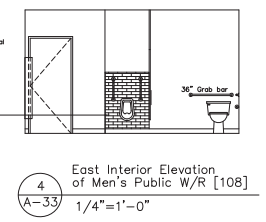
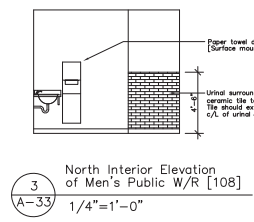
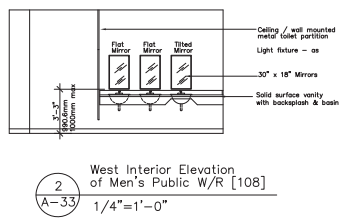
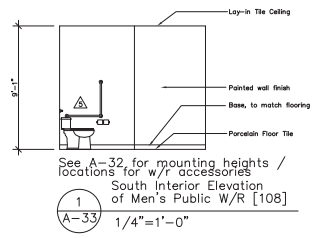
PROJECT NAME	MICROTEL HOTEL
PROJECT ADDRESS	Aurora, Ontario
DRAWING TITLE	4 TH Floor Plan
DESIGN	SCALE
DRAW	DATE
	1"=10'-0"
	May 03, 2017
	A-05



R. W. Scheidt Design 1683 Blondeaux Cr. Kelowna, B.C. V1Y 4J8 Phone: (250) 860-5061 E mail: scheidtdesign@shaw.ca	RE-ISSUED FOR SPA AUGUST 15	MasterBUILT Hotels Ltd.		PROJECT NAME: MICROTEL HOTEL PROJECT ADDRESS: Aurora, Ontario DRAWING TITLE: Typical Suite Layouts DESIGN: [] DRAW: [] REVISION: 3/16"=1'-0" DATE: May 03, 2017 SHEET: A-10
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R. W. Scheidt Design 1683 Blondeaux Cr. Kelowna, B.C. V1Y 4J8 Phone: (250) 860-5061 E mail: scheidt@shaw.ca	RE-ISSUED FOR SPA AUGUST 15 2017		MasterBUILT Hotels Ltd.			PROJECT NAME MICROTTEL HOTEL	
						PROJECT ADDRESS AURORA, ONTARIO	
						DRAWING TITLE Washrooms Details	
						DESIGN	DRAW
						A-32	



△ MAY 03, 2017 REVISION
-REVISE MOUNTING HEIGHT & SHAPE OF GRAB BAR AT WC
-ADD SECOND 'UNIVERSAL W/R' IN POOL AREA

R. W. Scheidt Design 1683 Blondeaux Cr. Kelowna, B.C. V1Y 4J8 Phone: (250) 860-5061 E mail: scheidt@shaw.ca	RE-ISSUED FOR SPA AUGUST 15 2017	MasterBUILT Hotels Ltd.		<table border="1"> <tr> <td colspan="2">PROJECT NAME</td> <td colspan="2">MICROTEL HOTEL</td> </tr> <tr> <td colspan="2">PROJECT ADDRESS</td> <td colspan="2">AURORA, ONTARIO</td> </tr> <tr> <td>DRAWING TITLE</td> <td>Public Washroom Interior Elevations</td> <td>SCALE</td> <td>DATE</td> </tr> <tr> <td>DESIGN</td> <td>DRAW</td> <td>1/4"=1'-0"</td> <td>May 03, 2017</td> </tr> </table>	PROJECT NAME		MICROTEL HOTEL		PROJECT ADDRESS		AURORA, ONTARIO		DRAWING TITLE	Public Washroom Interior Elevations	SCALE	DATE	DESIGN	DRAW	1/4"=1'-0"	May 03, 2017
PROJECT NAME		MICROTEL HOTEL																		
PROJECT ADDRESS		AURORA, ONTARIO																		
DRAWING TITLE	Public Washroom Interior Elevations	SCALE	DATE																	
DESIGN	DRAW	1/4"=1'-0"	May 03, 2017																	



**Extract from
Council Meeting of
Tuesday, June 13, 2017**

5. Consent Agenda

Moved by Councillor Thom

Seconded by Councillor Pirri

That the following Consent Agenda items, C1 (with the exception of sub-item R13) to C3 inclusive, be approved:

C1. General Committee Meeting Report of June 6, 2017

1. That the General Committee meeting report of June 6, 2017, be received and the following recommendations carried by the Committee approved.

(C2) Accessibility Advisory Committee Meeting Minutes of March 1, 2017, and April 5, 2017

1. That the Accessibility Advisory Committee meeting minutes of March 1, 2017, and April 5, 2017, be received for information.

Carried