



**Heritage
Advisory Committee
Meeting Agenda**

**Monday, November 13, 2017
7 p.m.**

**Holland Room
Aurora Town Hall**

Public Release
November 8, 2017



Town of Aurora Heritage Advisory Committee Meeting Agenda

Date: Monday, November 13, 2017

Time and Location: 7 p.m., Holland Room, Aurora Town Hall

1. Approval of the Agenda

Recommended:

That the agenda as circulated by Legislative Services be approved.

2. Declarations of Pecuniary Interest and General Nature Thereof

3. Receipt of the Minutes

Heritage Advisory Committee Meeting Minutes of October 16, 2017

Recommended:

That the Heritage Advisory Committee meeting minutes of October 16, 2017, be received for information.

4. Delegations

(a) Owen R. Scott, Brutto Consulting

**Re: Item 1 – HAC17-024 – Request to Remove a Property from the
Aurora Register of Properties of Cultural Heritage Value or Interest,
14288 Yonge Street**

- (b) Bowen Sun, representing Jiancheng Zheng, Pingqing Zhang**
Re: Item 2 – HAC17-025 – Request to Remove a Property from the
Aurora Register of Properties of Cultural Heritage Value or Interest,
86 Temperance Street

5. Matters for Consideration

- 1. HAC17-024 – Request to Remove a Property from the Aurora Register of**
Properties of Cultural Heritage Value or Interest
14288 Yonge Street

Recommended:

1. That Report No. HAC17-024 be received; and
2. That the Heritage Advisory Committee recommend to Council:
 - (a) That the property located at 14288 Yonge Street be removed from the Aurora Register of Properties of Cultural Heritage Value or Interest; and
 - (b) That the portion identified as the “1-½-storey Main House” be reconstructed and modified in accordance with recommendations outlined in the submitted Conservation Plan, together with an addition, all to be located on Lot 11 to the satisfaction of the Director of Planning and Building Services; and
 - (c) That a financial contribution to the Heritage Reserve Fund be provided to the Town; and
 - (d) That an addition to the home be reviewed by the Heritage Advisory Committee in a future meeting; and
 - (e) That the Owner’s heritage consultant submit a photographic report of a controlled demolition of the Cannon Farmhouse to determine the building’s construction date for education purposes.

**2. HAC17-025 – Request to Remove a Property from the Aurora Register of Properties of Cultural Heritage Value or Interest
86 Temperance Street**

Recommended:

1. That Report No. HAC17-025 be received; and
2. That the Heritage Advisory Committee recommend to Council:
 - (a) That the property located at 86 Temperance Street be removed from the Aurora Register of Properties of Cultural Heritage Value or Interest upon issuance of a demolition permit for the property; and
 - (b) That future building elevations are subject to approval of Planning staff to ensure the proposed new dwelling will maintain the heritage character of the area; and
 - (c) That the Black Walnut tree located in the southwest corner of the lot be preserved.

6. Informational Items

**3. HAC17-026 – Wood Plaque Application
101 Temperance Street**

Recommended:

1. That Report No. HAC17-026 be received for information.
4. **Extract from Council Meeting of October 24, 2017**
Re: Heritage Advisory Committee Meeting Minutes of September 11, 2017, and Summary of Committee Recommendations Report No. 2017-09

Recommended:

1. That the Extract from Council Meeting of October 24, 2017, regarding the Heritage Advisory Committee meeting minutes of September 11, 2017, and Summary of Committee Recommendations Report No. 2017-09, be received for information.

7. New Business

8. Adjournment



**Town of Aurora
Heritage Advisory Committee
Meeting Minutes**

Date:	Monday, October 16, 2017
Time and Location:	7 p.m., Holland Room, Aurora Town Hall
Committee Members:	Councillor Wendy Gaertner (Chair), Councillor Jeff Thom (Vice Chair) (arrived 7:12 p.m.), Neil Asselin, Barry Bridgeford, James Hoyes, Bob McRoberts (Honorary Member), Martin Paivio, and Ken Turriff
Member(s) Absent:	John Kazilis
Other Attendees:	Marco Ramunno, Director of Planning and Building Services, Jeff Healey, Planner, and Ishita Soneji, Council/Committee Secretary

The Chair called the meeting to order at 7:02 p.m.

1. Approval of the Agenda

**Moved by Martin Paivio
Seconded by Bob McRoberts**

That the agenda as circulated by Legislative Services be approved.

Carried

2. Declarations of Pecuniary Interest and General Nature Thereof

There were no declarations of pecuniary interest under the *Municipal Conflict of Interest Act*.

3. Receipt of the Minutes

Heritage Advisory Committee Meeting Minutes of September 11, 2017

Heritage Advisory Committee Meeting Minutes
Monday, October 16, 2017

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**Moved by James Hoyes
Seconded by Neil Asselin**

That the Heritage Advisory Committee meeting minutes of September 11, 2017, be received for information.

Carried

4. Delegations

(a) Joanne Russo, Owner

**Re: Item 1 – HAC17-022 – Heritage Permit Application, 29 Mark Street,
File: NE-HCD-HPA-17-15**

Ms. Russo provided an overview of the details and intent of the proposed second storey-addition, and responded to questions from the Committee.

**Moved by Barry Bridgeford
Seconded by Bob McRoberts**

That the comments of the delegation be received and referred to Item 1.

Carried

5. Matters for Consideration

**1. HAC17-022 – Heritage Permit Application, 29 Mark Street
File: NE-HCD-HPA-17-15**

Staff provided a brief overview of the application and provided details of the proposed second-storey addition.

The Committee discussed various aspects of the proposed addition including roof height, the typology of design, the impact of the structure on the neighbourhood, and inquired about required variances that would be addressed at Committee of Adjustment.

**Moved by Neil Asselin
Seconded by Councillor Thom**

1. That Report No. HAC17-022 be received; and
2. That the Heritage Advisory Committee recommend to Council:

Heritage Advisory Committee Meeting Minutes
Monday, October 16, 2017

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- (a) That Heritage Permit Application NE-HCD-HPA-17-15 for a 118.8 m² second-storey addition and a 3 m² rear addition be approved.

Carried

2. HAC17-020 – Request to Designate under Part IV of the *Ontario Heritage Act*, 49 Wells Street “Town Park”

Staff provided an overview of the report and provided details on the historical and associative value of Town Park, and advised that a designation by-law would be brought forward to Council to designate Town Park under Part IV of the *Ontario Heritage Act*.

The Committee discussed the specific heritage attributes and their significance, and agreed to amend the Summary of Heritage Attributes.

**Moved by Barry Bridgeford
Seconded by Neil Asselin**

1. That Report No. HAC17-020 be received; and
2. That the Heritage Advisory Committee recommend to Council:
 - (a) That the Town Park located at 49 Wells Street be designated under Part IV of the *Ontario Heritage Act* as a property of cultural heritage value or interest; and
 - (b) That the Town Clerk be authorized to publish and serve Council's Notice of Intention to Designate as per requirements of the Act; and
 - (c) That the designation by-law be brought before Council for passing if no objections were received within the thirty (30) day objection period as per requirements of the Act; **and**
 - (d) **That the following amendments to the Summary of Heritage Attributes be included:**
 - **The overall park setting, including the natural landscape of the existing park;**
 - **The presence of a bandshell;**
 - **The presence of a baseball diamond; and**
 - **A playground.**

Carried as amended

3. HAC17-023 – Doors Open Aurora 2017 – Event Summary Report

Staff gave an overview of the Doors Open Aurora 2017 event and noted the efforts of volunteers, summer students and staff.

The Committee commended the efforts of all those involved in making this a successful event.

**Moved by Ken Turriff
Seconded by Councillor Thom**

1. That Report No. HAC17-023 be received; and
2. That the Heritage Advisory Committee extend a thank you to the following individuals and groups for their support of Doors Open Aurora 2017:
 - (a) All site owners/operators;
 - (b) All volunteers and site staff;
 - (c) The Auroran newspaper; and
 - (d) The Mayor, Members of Council, and supporting Town staff.

Carried

**4. Memorandum from Acting Manager of Parks
Re: Tree Removal Permit Application #064 for 52 Centre Street**

Staff provided an overview of the application and gave details about the tree in question.

The Committee inquired about the process for contracted arborists to operate in the Town and the methods to inform home owners of the Tree By-law regulations, specifically within the Heritage District. Staff noted that the development of suitable communication measures to residents is in progress.

**Moved by Bob McRoberts
Seconded by Councillor Thom**

1. That the memorandum regarding Tree Removal Permit Application #064 for 52 Centre Street be received; and
2. That the Heritage Advisory Committee recommend to Council:
 - (a) That Tree Removal Permit Application #064 for the removal of one black walnut tree at 52 Centre Street be approved.

Carried

6. Informational Items

5. Extract from Council Meeting of September 12, 2017

Re: Heritage Advisory Committee Meeting Minutes of July 17, 2017

Moved by Bob McRoberts

Seconded by Martin Paivio

1. That the Extract from Council Meeting of September 12, 2017, regarding the Heritage Advisory Committee meeting minutes of July 17, 2017, be received for information.

Carried

6. Extract from Council Meeting of September 12, 2017

Re: Summary of Committee Recommendations Report No. 2017-08

Moved by Bob McRoberts

Seconded by Martin Paivio

1. That the Extract from the Council Meeting of September 12, 2017, regarding Summary of Committee Recommendations Report No. 2017-08, be received for information.

Carried

7. New Business

The Chair welcomed Ken Turriff to the Committee.

Staff provided an update regarding the archaeological excavation at the Aurora United Church site.

Staff provided an update on the Collis Leather factory site at 45 Tyler Street.

Staff provided an update on the status of the Brookland Avenue culvert and road reconstruction work, stating that work was delayed and will be completed, weather permitting.

Staff provided an update on the site construction at 32 Wellington Street East, and displayed plans of the proposed construction.

Staff provided an update on the 32 Wells Street reconstruction, stating that the lot coverage is within required provisions.

Staff noted that the business signage on a Mosley Street residential property is under investigation.

Staff informed that the light armoured vehicle (LAV) will be installed at Aurora's War Memorial Peace Park in time for Remembrance Day.

The Committee inquired about the inventory of architectural attributes of existing Heritage properties on Yonge Street, and staff noted that they are in the process of gathering information and a report will be brought to the Committee at a future meeting.

The Committee inquired about the status of the grade separation at Wellington Street by Metrolinx, and staff provided clarification.

8. Adjournment

Moved by Neil Asselin

Seconded by James Hoyes

That the meeting be adjourned at 8:27 p.m.

Carried

Committee recommendations are not binding on the Town unless otherwise adopted by Council.



Legislative Services
905-727-3123
Clerks@aurora.ca
Town of Aurora
100 John West Way, Box 1000
Aurora, ON L4G 6J1

Delegation Request

This Delegation Request form and any written submissions or background information for consideration by either Council or Committees of Council must be submitted to the Clerk's office by the following deadline:

4:30 p.m. Two (2) Days Prior to the Requested Meeting Date

Council/Committee/Advisory Committee Meeting Date: November 13, 2017	
Subject: 14288 Yonge Street	
Name of Spokesperson: Owen R. Scott	
Name of Group or Person(s) being Represented (if applicable): Brutto Consulting	
Brief Summary of Issue or Purpose of Delegation: speak to the proposed removal of 14288 Yonge Street from the Heritage Register	
Please complete the following:	
Have you been in contact with a Town staff or Council member regarding your matter of interest? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
If yes, with whom? Jeff Healey, Planner - Heritage Planning	Date: number of occasions, most recent October 25, 2017
<input checked="" type="checkbox"/> I acknowledge that the Procedure By-law permits five (5) minutes for Delegations.	



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Delegation Request

This Delegation Request form and any written submissions or background information for consideration by either Council or Committees of Council must be submitted to the Clerk's office by the following deadline:

4:30 p.m. Two (2) Days Prior to the Requested Meeting Date

Council/Committee/Advisory Committee Meeting Date: November 13th, 2017	
Subject: Heritage Title Removal Request	
Name of Spokesperson: Bowen Sun	
Name of Group or Person(s) being Represented (if applicable): Jiancheng Zheng, Pingqing Zhang	
Brief Summary of Issue or Purpose of Delegation: Request to remove Heritage Title of property 86 Temperance Rd, Aurora	
Please complete the following:	
Have you been in contact with a Town staff or Council member regarding your matter of interest? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
If yes, with whom? Jeff Healey	Date: 2017.11.03
<input checked="" type="checkbox"/> I acknowledge that the Procedure By-law permits five (5) minutes for Delegations.	



**Subject: Request to Remove a Property from the Aurora Register of Properties of Cultural Heritage Value or Interest
14288 Yonge Street**

Prepared by: Jeff Healey, Planner/Heritage Planning

Department: Planning and Building Services

Date: November 13, 2017

Recommendation

- 1. That Report No. HAC17-024 be received; and**
- 2. That the Heritage Advisory Committee recommend to Council:**
 - (a) That the property located at 14288 Yonge Street be removed from the Aurora Register of Properties of Cultural Heritage Value or Interest; and**
 - (b) That the portion identified as the “1 ½ storey Main House” be reconstructed and modified in accordance with recommendations outlined in the submitted Conservation Plan, together with an addition, all to be located on Lot 11 to the satisfaction of the Director of Planning and Building Services; and**
 - (c) That a financial contribution to the Heritage Reserve Fund be provided to the Town; and**
 - (d) That an addition to the home be reviewed by the Heritage Advisory Committee in a future meeting; and**
 - (e) That the Owner’s heritage consultant submit a photographic report of a controlled demolition of the Cannon Farmhouse to determine the building’s construction date for education purposes.**

Executive Summary

The purpose of this report is to provide Council with direction from the Heritage Advisory Committee regarding the request to remove the property located at 14288 Yonge Street from the Aurora Register of Properties of Cultural Heritage Value or Interest.

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Report No. HAC17-024

- The structure was likely constructed circa 1875 and can be described as a 1 ½ storey Ontario House and is also known as “The Cannon Farmhouse”
- A second structure located on the subject lands was constructed circa 1980 and can be described as a 2 storey rectangular framed structure
- A Cultural Heritage Impact Assessment Report was prepared for the subject lands, by Unterman McPhail Associates, dated March 2010, updated April 2013
- A Conservation Plan for the Cannon Farmhouse was prepared by CHC Limited, dated April 7 2017.
- Further justification for removal of the home has been provided by CHC Limited
- The owners have submitted a conceptual perspective drawing for a new single detached dwelling, however staff are of the opinion that

Background

The agent representing the owner of the property located at 14288 Yonge Street submitted an Application to request that the subject property be removed from the Aurora Register of Properties of Cultural Heritage Value or Interest on September 21, 2017.

Location

The subject property is located on the west side of Yonge Street between the CNR Railway Bridge and Ridge Road (See Attachment 1). The property is listed and non-designated on the Aurora Register of Properties of Cultural Heritage Value or Interest and can be described as an Ontario House. The original building was likely constructed c. 1875, but may be constructed as early as the 1860's. The builder of the main structure is unknown.

Provisions of the Ontario Heritage Act for delisting process

According to Section 27 of the *Ontario Heritage Act*, a Municipal Register of Cultural Heritage Value or Interest may include properties that have not been designated under the *Ontario Heritage Act*, but that the Council of a Municipality believes to be of cultural heritage value or interest.

The principal implication of properties non-designated and listed on the Aurora Register pertains to subsection 27. (3) of the *Ontario Heritage Act* where,

If property included in the register under subsection (1.2) has not been designated under section 29, the owner of the property shall not demolish or remove a building or structure on the property or permit the demolition or removal of the building or structure unless the owner gives the council of the municipality at least 60 days notice in writing of the owner's intention to demolish or remove the building or structure or to permit the demolition or removal of the building or structure. 2006, c. 11, Sched. B, s. 11 (2).

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The purpose of providing Council with 60 days to determine the Notice of Intention is to provide time to determine whether or not the property should be designated under the *Ontario Heritage Act*. According to subsection 27(1.3) of the *Ontario Heritage Act*, the Council of a Municipality shall, before removing the reference to such a property from the Register, consult with its Municipal Heritage Committee.

Analysis

History of the Property

The history of the property was compiled from a Cultural Heritage Impact Assessment prepared by Unterman McPhail Associates, dated April 2013 and the Conservation Plan prepared by CHC Limited, dated April 2017. 14288 Yonge Street formed part of a much larger tract of farmland owned by the Cannon family. By 1844, Michael Cannon owned all 200 acres of land on Lot 74, Concession 1. By 1853, the railway to Machell's Corners was constructed, which ran through the centre of the former concession lot (Lot 74, Conc 1). Michael lived with his wife Philadelphia and his 8 children in a one storey frame house on the property. Between 1870 and 1875 it is likely the subject dwelling was constructed on the lands to accommodate the growing family. After Michael Cannon's death in the 1880's, the property continues to be inhabited by his widow Philadelphia and her children. By 1907, the lands located west of the railway tracks were severed and sold. The property remained under the ownership of the Cannon family until 1945 when the lands were sold to Doris Rushworth. In 1953, Ms. Rushworth severed the lands east of the railway tracks to Catherine Bunn and retaining the lands containing the Cannon Farmhouse for herself. By 1956, the lands containing the Cannon Farmhouse was sold to Elva Miller.

There is evidence to suggest that an older wood frame structure lies underneath the walls of the existing structure. Should the building be demolished, a controlled demolition should be undertaken to determine an exact construction date.

Heritage Features of the Existing Building

The Cannon Farmhouse can be described as a 1 ½ storey structure, rectangular shaped, with a one storey brick clad tail wing. Overall, the building can be considered a good example of an Ontario House Design. The roof is a side gabled roof including a centre gable with a 1 over 2 double hung sash window, a classic feature of Ontario House design. The original building is clad with beige Aurora brick, however the second storey of the front elevation has covered the brick with vinyl siding. The first floor of the front façade displays one 1 over 2 double-hung window and a 3 over 6 picture window. The house is founded on fieldstone mixed with red brick, there is a full basement underneath the original home, and no basement under the addition. A 1 storey rear addition was likely added immediately after the construction of the main building and is sited in a somewhat unusual pattern compared to other 1 storey additions constructed in this period.

A number of unsympathetic alterations have occurred on the dwelling. There is no front porch on the house, however wood pilasters are featured around the front entrance of

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the home, which is inappropriate to the home. The front door is not original to the home nor, complementary to the house. None of the windows on the home appear to be original and the replacement windows are incorrect to the period and style of the home. Inappropriate wood window shutters are located on the front elevation. Two chimneys are located on the home, one chimney made of brick, is located on the north side of the structure and another chimney made of poured concrete is located on the west side. Both chimneys are not original to the home.

An aluminium clad shed/ outbuilding constructed in the mid-20th Century is located at the north end of the property. The outbuilding contains no heritage value.

A second dwelling is located to the northwest of the Cannon Farmhouse. The building can be described as a 2 storey rectangular wood frame building, constructed circa 1980. The second dwelling contains no heritage value.

A site visit was conducted on October 25 2017. Beyond the brick repointing & mortar repair on the main structure and chimney and the complete replacement of the roof shingles, the building appears to be in a good structural condition. The interior of the building has been heavily modified, with the hardwood flooring and an original door in the living room as the remaining notable items.

Conservation of the Existing Building

A Conservation Plan was prepared for the Cannon Farmhouse, prepared by CHC Limited dated April 7, 2017. The Conservation Plan outlines methods to repair and save the home, including but not limited to: repointing & rebuffering the damaged bricks, replacement of all exterior door and windows with period-appropriate windows and doors, remove or repair the chimneys and repair the roof on the rear addition.

Neighbourhood Context

Yonge Street, between the CNR Railway Bridge to the north and Ridge Road to the south, encompasses a total of fifteen (15) properties, five (5) of which are listed or designated on the Aurora Register of Properties of Cultural Heritage Value or Interest.

This portion of Yonge Street was historically rural in character. Historical buildings along this section of Yonge Street primarily comprise of, Ontario House architectural styles and homes comprising of fieldstone exterior cladding constructed circa 1920-1945. It is noted that 14288 Yonge Street is located within close proximity of one (1) property Designated under Part IV of the *Ontario Heritage Act*, being the Keeper's House and the Dead House, both located at the Aurora Cemetery (14253 Yonge Street). It is also noted that the Pet Cemetery, which is anticipated to be Designated under Part IV of the *Ontario Heritage Act*, is located approximately 300 metres northwest of the subject building. The owner's heritage consultant has identified that the removal of the Cannon Farmhouse will have no impact on the heritage resources at the Aurora Cemetery.

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Building Evaluation

The Evaluation Working Group met to perform an objective evaluation of the subject property on Wednesday October 26, 2017 (See Attachment 3). The Evaluation Criteria for assessing the cultural heritage value of cultural heritage resources have been developed by the Town in consultation with its Municipal Heritage Committee. As per Section 13.3 e) of the Official Plan, Priority will be given to designating all Group 1 heritage resources in the Register.

The purpose of the Evaluation is to identify the design/physical value, historical/associative value, and contextual value of the property as per Ontario Regulation 9/06, which outlines the criteria for determining cultural heritage value or Interest under the *Ontario Heritage Act* in order to conserve significant heritage resources.

The Evaluation found the subject property to score in the middle of Group 2, suggesting that the property is “significant, worthy of preservation”.

According to the Heritage Evaluation Guide for buildings scored within Group 2:

- The designation of the building pursuant to the *Ontario Heritage Act* will be encouraged;
- The retention of the structure in its existing location is encouraged;
- Any development application affecting such a structure should incorporate the identified building; and
- Appropriate alternative uses for the building will be encouraged when necessary to ensure its preservation.
- A Letter of Credit may be required to ensure the protection and preservation of the building in connection with a redevelopment application.

The conservation of remaining physical attributes of the property would require formal designation under Part IV of the *Ontario Heritage Act*, making it necessary for owners to obtain Heritage Permits for proposed work.

The *Ontario Heritage Act* provides criteria for determining cultural heritage value or interest with Ontario Regulation 9/06. This Regulation requires that a building must exhibit significant design/physical, or associative, or contextual value to warrant designation. The Evaluation working group found the final weighted score for 14288 Yonge Street to be 57.8/100.

Proposed Concept Plan

The owner proposes to remove the property from the Aurora Register as a non-designated ‘listed’ property with the intention of demolishing the existing structure on the subject property to construct a new building. A concept drawing of the proposed building type were provided by the owner are shown in Attachment 4.

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The applicant is proposing to build a new single detached residence. The new design can be described as a two storey building, designed in a contemporary style with some elements derived from Second Empire styles. The owner's propose the new structure to be clad with stone on the first floor and stucco on the second floor. A double car attached garage is proposed on the north side of the building, slightly setback from the front verandah. The proposed home forms part of a Plan of Subdivision which is currently under review by Planning Staff. The proposed home is expected to meet site-specific zoning provisions, which will be finalized at a later date.

Heritage staff are of the opinion that there is an opportunity to construct a new home in the image of the original Cannon Farmhouse. The portion of the house identified as the "1 ½ storey main house" can be reconstructed in the image of the original Cannon Farmhouse, together with a complementary addition located on Lot 11 of the current Draft Plan of Subdivision. Similar examples of this technique have been approved by the Heritage Advisory Committee at 14726 Bayview Avenue (The Colyton Farmhouse) and 939 St. John's Sideroad (The Enos Lundy House). A contribution to the Heritage Reserve Fund will also be requested to the satisfaction of the Director of Planning and Building Services.

It must be noted that the owners are proposing a residential block, located east of the proposed building, which may obscure the view of the proposed building from Yonge Street. There is no proposal to construct a unit on the block as part of the current Plan of Subdivision application.

Design Review Panel

The Design Review Panel will review any reconstruction plan for the Cannon Farmhouse.

Financial Implications

There are no financial implications.

Communications Considerations

No Communication Required.

Link to Strategic Plan

The conservation of heritage resources supports the Strategic Plan goal of Supporting an Exceptional Quality of Life for All through its accomplishment in satisfying requirements in objective Celebrating and Promoting our Culture.

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Alternatives to the Recommendation

1. Refuse the application and recommend that the property remain listed on the Aurora Registrar of Properties of Cultural Heritage Value or Interest.
2. Refuse the application and recommend Designation under Part IV of the *Ontario Heritage Act*.

Conclusions

The subject building was evaluated using the Town of Aurora Heritage Building Evaluation Guide and was rated in Group 2, which encourages the retention of the building as well as designation under the *Ontario Heritage Act*.

Staff have reviewed the Cultural Heritage Impact Assessment Report, Conservation Plan and the letter in support to remove the property from the heritage registrar. In each report, the consultants have identified that the Cannon House was found not to meet the criterion of Regulation 09/06 and is not considered to be a property of cultural heritage value or interest. Although staff agree with the consultant's opinions regarding the building not meeting the criterion of Regulation 09/06, the building has an opportunity to be reconstructed. The owners/developers are to reconstruct the existing home, together with a complementary addition.

As Michael Cannon purchased the property in 1844, the house may have been constructed much earlier than its existing presumed date of 1875. Therefore it is recommended that upon demolition a photographic report of the Cannon Farmhouse be prepared determine whether there is an earlier construction date. Commemoration for the Cannon family will be provided in a future trail system in the adjacent Coutts development. As such, staff recommend the Heritage Advisory Committee remove of 14288 Yonge Street from the Aurora Registrar of Properties of Cultural Heritage Value or Interest.

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Attachments

- Attachment #1 – Location Map
- Attachment #2 – Heritage Resource Brief (2010)
- Attachment #3 – Evaluation Working Group Score, 14288 Yonge Street
- Attachment #4 – Photos of 14288 Yonge Street (2017)
- Attachment #5 – Proposed Design- 14288 Yonge Street
- Attachment #6 – Conservation Plan, prepared by CHC Limited, dated April 7, 2017
- Attachment #7 – Letter in support to remove the property from the Heritage Registrar prepared by CHC Limited, dated September 19, 2017


Previous Reports

None.

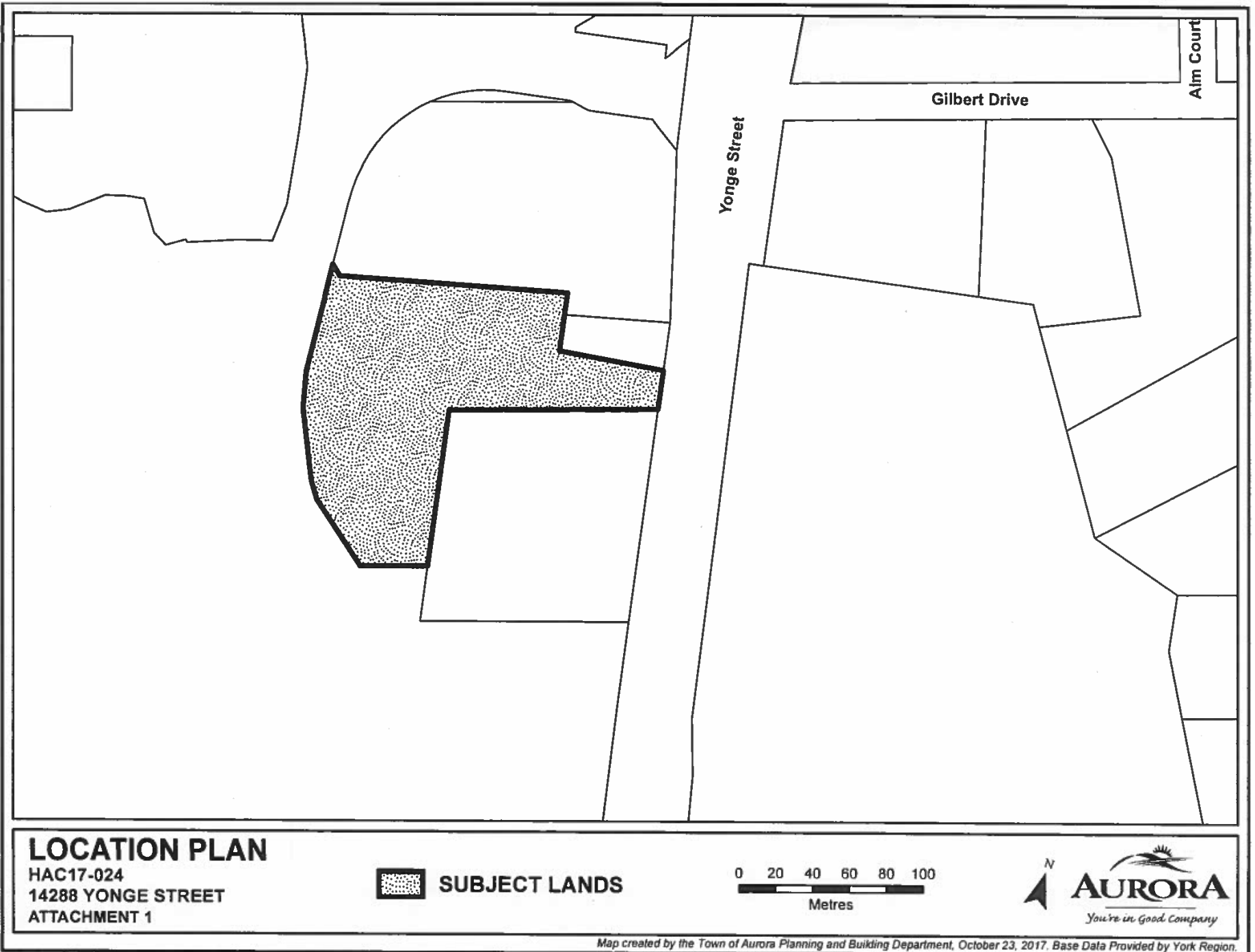
Pre-submission Review

Agenda Management Team Meeting review on November 1, 2017.

Departmental Approval



Marco Ramunno
Director, Planning and Building Services



AURORA INVENTORY OF HERITAGE BUILDINGS

**S
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ADDRESS: 14288 Yonge Street

LEGAL DESCRIPTION: CONCESSION: 1W PART LOT: 74

**S
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PRESENT USE: Residence

ORIGINAL USE: Residence

HERITAGE DESIGNATION: Undesignated

1995 INVENTORY

OFFICIAL PLAN: Rural

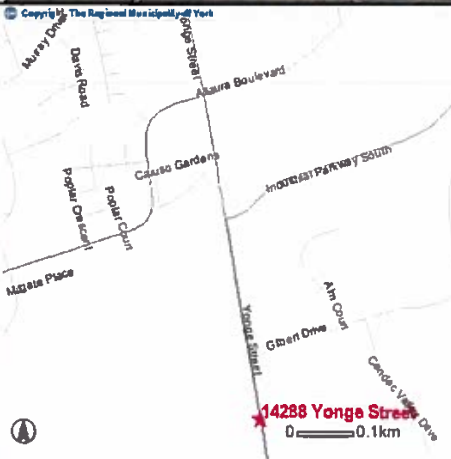
ZONING: RU (Rural)

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HERITAGE BUILDING EVALUATION SCORE SHEET

Municipal Address: <u>14288 Yonge</u>					Group: <u>2</u>
Legal Description: _____		Lot: _____		Cons: _____	
Date of Evaluation: <u>Oct 25th / 17</u>		Name of Recorder: <u>JH</u>			
HISTORICAL	E	G	F	P	TOTAL
Date of Construction	<u>30</u>	20	10	0	30/30
- Trends/Patterns/Themes	40	<u>27</u>	14	0	27/40
Events	15	10	5	<u>0</u>	0/15
Persons/Groups	15	10	<u>5</u>	0	5/15
Archaeological (Bonus)	10	7	3	<u>0</u>	0/10
Historic Grouping (Bonus)	10	7	3	<u>0</u>	0/10
Construction Date (Bonus)	10				0/10
HISTORICAL TOTAL					62 / 100
ARCHITECTURAL	E	G	F	P	TOTAL
Design	20	<u>13</u>	7	0	13/20
Style	30	<u>20</u>	10	0	20/30
Architectural Integrity	20	<u>13</u>	7	0	13/20
Physical Condition	20	<u>13</u>	7	0	13/20
Design/Builder	10	7	3	<u>0</u>	0/10
Interior (Bonus)	10	7	3	<u>0</u>	0/10
ARCHITECTURAL TOTAL					59 / 100
ENVIRONMENTAL					TOTAL
Design Compatibility	40	<u>27</u>	14	0	27/40
Community Context	20	13	7	<u>0</u>	0/20
Landmark	20	13	7	<u>0</u>	0/20
Site	<u>20</u>	13	7	<u>0</u>	20/20
ENVIRONMENTAL TOTAL					47 / 100
SCORE	INDIVIDUAL		OLD AURORA		
Historical Score	62 X 40% = <u>24.8</u>		X 20% = _____		
Architectural Score	59 X 40% = <u>23.6</u>		X 35% = _____		
Environmental Score	47 X 20% = <u>9.4</u>		X 45% = _____		
TOTAL SCORE	57.8		<input type="text"/>		
GROUP 1 = 70-100		GROUP 2 = 45-69		GROUP 3 = 44 or less	

Attachment 4

Photos of 14288 Yonge – October 2017



Cannon Farmhouse- Front (west) Elevation



Cannon Farmhouse- Looking southwest

Attachment 4



Cannon Farmhouse- South Elevation



Cannon Farmhouse- North Elevation

Attachment 4



14288 Yonge Street- Second House constructed circa 1980



14288 Yonge Street- Outbuilding constructed circa 1950

Attachment 5



Conservation Plan
14288 Yonge Street
Part Lot 74, Concession 1, West of Yonge (WYS)
formerly King Township
Aurora, ON



prepared by

CHC Limited

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April 7, 2017

Conservation Plan

14288 Yonge Street, Aurora, ON

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all photographs by: Owen R. Scott of CHC Limited, March 30, 2017 unless otherwise noted.
Cover photo, 14288 Yonge Street from the east

1.0 BACKGROUND - CONSERVATION PLAN

Conservation Plans provide specific recommendations regarding how a cultural heritage resource will be conserved. They are typically a separate report and subsequent to a Heritage Impact Assessment and may reference an HIA for the development or site alteration regarding historical research, the identification of cultural heritage resources, mitigation recommendations, *etc.* No HIA has been, or is being conducted for this property; therefore, much of the background required in an HIA is required for a Conservation Plan, including an inventory and description of the heritage resource(s) and a description of cultural heritage value. As well, an assessment of resource conditions and deficiencies, discussions of historical, current and proposed use are required. Conservation Plans are guided by the Town's terms of reference.¹

The property is listed on the Town's Heritage Register. It is not designated under either Part IV or Part V of the *Ontario Heritage Act*.² The lands within which the subject property is located were the subject of a cultural heritage evaluation report³ (CHER) in 2010. In that report, the subject property was noted as one of two cultural heritage resources located adjacent to the subject development lands, the other being east of Yonge Street. Figure 1 illustrates the location of the property in the south central part of Aurora on Yonge Street.

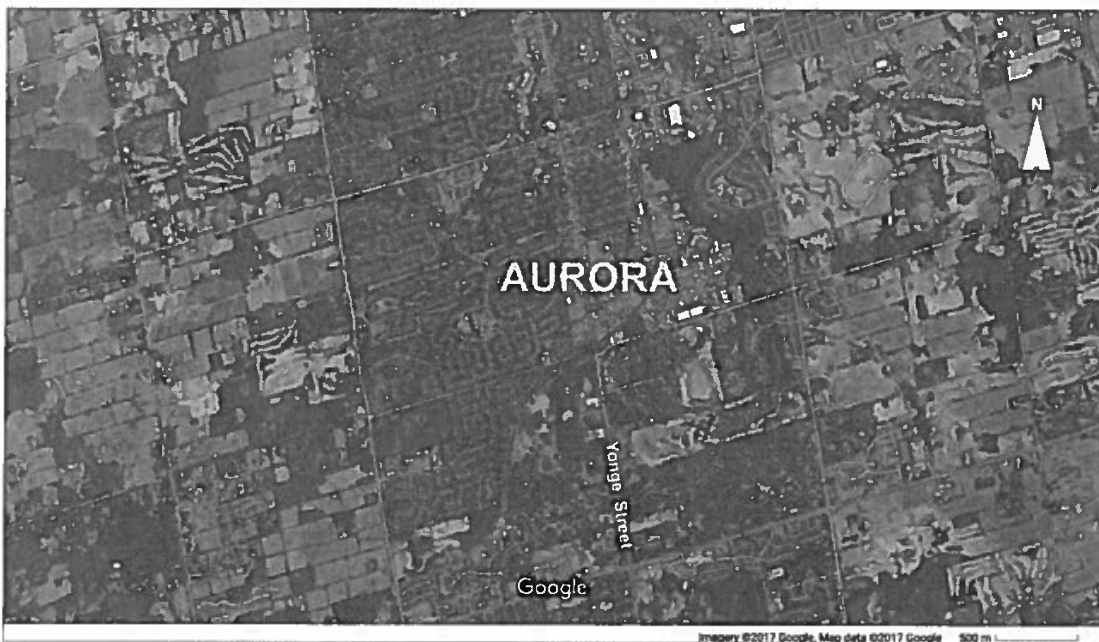


Figure 1

location map, 14288 Yonge Street, Aurora - Google Maps

- ¹ *Town of Aurora Heritage Impact Assessments and Conservation Plans Guide*, Planning and Building Services, Development Planning Division, Heritage Planning Section, August 2016
- ² *Aurora Register of Properties of Cultural Heritage Value or Interest*, Planning & Development Services, Heritage Planning, January 2016
- ³ *Cultural Heritage Assessment Report, Built Heritage & Cultural Heritage Landscapes, Yonge Street/Ridge Road – Northwest Quadrant Secondary Plan*, Town of Aurora, Ontario, (Part Lots 73, 74 and 75, Concession 1 East of Yonge Street, Geographic Township of King), March 2010, Unterman McPhail Associates

2.0 IDENTIFICATION OF CONSERVATION PRINCIPLES

The conservation principles to be employed in this project are found in: Parks Canada – *Standards and Guidelines for the Conservation of Historic Places in Canada*; and Ontario Ministry of Tourism, Culture and Sport’s *Eight Guiding Principles in the Conservation of Built Heritage Properties*.

*Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada:*⁴
General Standards (all projects)

- 1 *Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.*
- 2 *Conserve changes to a historic place which, over time, have become character-defining elements in their own right.*
- 3 *Conserve heritage value by adopting an approach calling for minimal intervention.*
- 4 *Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.*
- 5 *Find a use for a historic place that requires minimal or no change to its character-defining elements.*
- 6 *Protect and, if necessary, stabilize a historic place until any subsequent intervention is under-taken. Protect and preserve archaeological resources in place. Where there is potential for disturbance of archaeological resources, take mitigation measures to limit damage and loss of information.*
- 7 *Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.*
- 8 *Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.*
- 9 *Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place, and identifiable upon close inspection. Document any intervention for future reference.*

*Eight Guiding Principles in the Conservation of Built Heritage Properties*⁵

1. **RESPECT FOR DOCUMENTARY EVIDENCE:**
Do not base restoration on conjecture. Conservation work should be based on historic documentation such as historic photographs, drawings and physical evidence.
2. **RESPECT FOR THE ORIGINAL LOCATION:**
Do not move buildings unless there is no other means to save them. Site is an integral component of a building or structure. Change in site diminishes cultural heritage value considerably.

⁴ Parks Canada website www.parkscanada.gc.ca

⁵ Ontario Ministry of Culture website
http://www.culture.gov.on.ca/english/heritage/info_sheets/info_sheet_8principles.htm

3. **RESPECT FOR HISTORIC MATERIAL:**
Repair/conservate - rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the heritage content of the built resource.
4. **RESPECT FOR ORIGINAL FABRIC:**
Repair with like materials. Repair to return the resource to its prior condition, without altering its integrity.
5. **RESPECT FOR THE BUILDING'S HISTORY:**
Do not restore to one period at the expense of another period. Do not destroy later additions to a building or structure solely to restore to a single time period.
6. **REVERSIBILITY:**
Alterations should be able to be returned to original conditions. This conserves earlier building design and technique. e.g. When a new door opening is put into a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.
7. **LEGIBILITY:**
New work should be distinguishable from old. Buildings or structures should be recognized as products of their own time, and new additions should not blur the distinction between old and new
8. **MAINTENANCE:**
With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

Conservation Plan, 14288 Yonge Street, Aurora, ON

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and nine children lived in a single household on Lot 74, Concession 1 WYS. The Illustrated Historical Atlas (1878) depicts Michael Cannon on Lot 74. The property contained a farmhouse and orchard facing onto Yonge Street in the approximate location of the present residence at 14288 Yonge Street.⁷ (Figure 3)

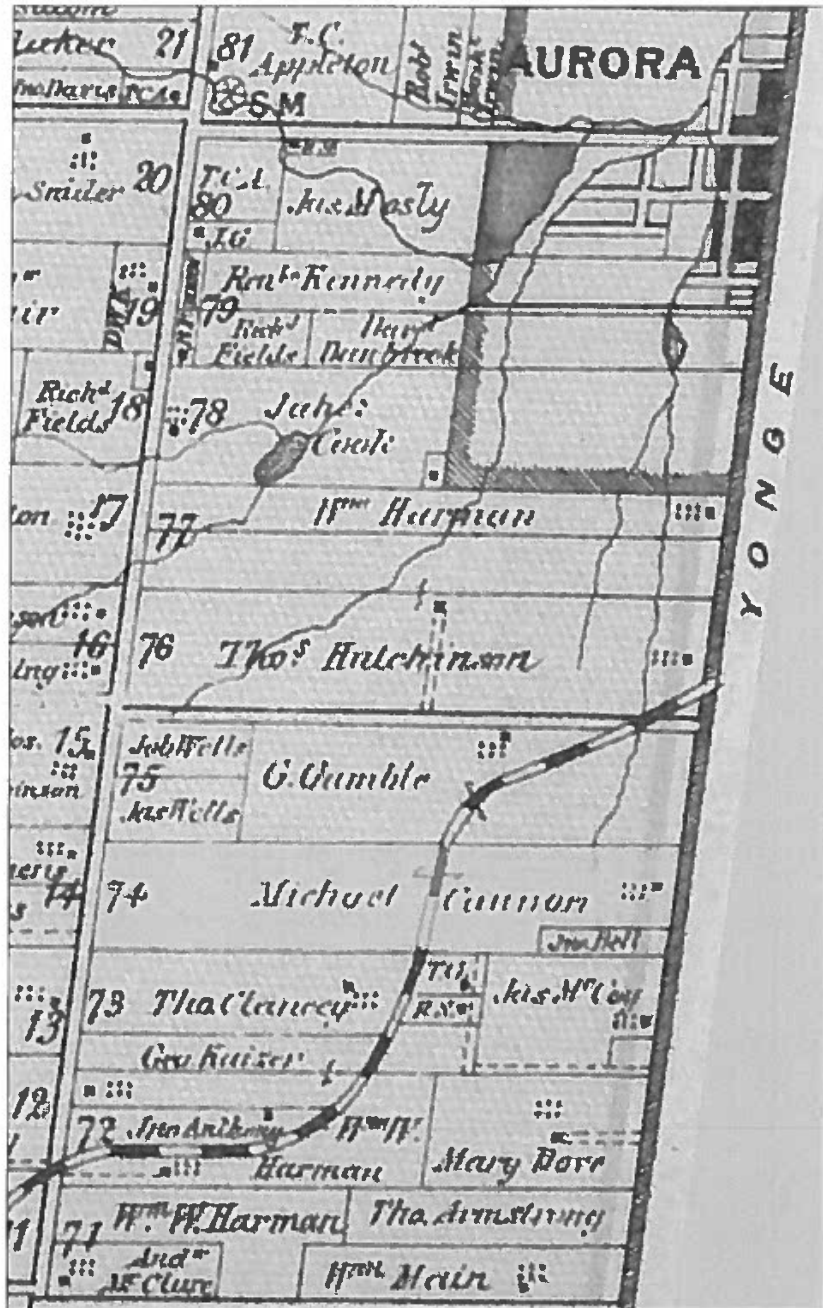


Figure 3 Illustrated Historical Atlas of the County of York, Ontario, Miles & Co. 1878

⁷ Ibid, p. 7

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The Census Return (1881) notes 68-year old farmer Michael Cannon and 60 year old Philadelphia Cannon lived in a single household in King Township with their four children, Thomas, Sarah, Patrick and James Cannon. Michael Cannon died sometime in the 1880s. The Census Return (1891) notes 72-year old Philadelphia Cannon as a widow a farmer by occupation. She lived with six, single adult children—John, Thomas, Ellen, Patrick, Sarah and James in a 7-room, two storey, brick house. It would appear the present 1½ storey brick house was built c. 1870.

Land records indicate Philadelphia Cannon bought 182 acres of land from William H. Cannon and others in November 1892. Although the records indicate the property was sold to Thomas Cannon and others in November 1892, King Township assessment rolls from the late 1890s continue to record the widow Philadelphia Cannon as a freeholder on the Lot 74 with her sons James, Patrick and Thomas. By 1899, the rolls list Thomas Cannon as a non-resident of the township.

The Census Return (1901) indicates bachelor farmer Patrick Cannon lived with his unmarried sister Ellen and his 80-year old mother Philadelphia in a 5-room, brick house on part of east half of Lot 74, Concession 1. Cannon owned a total of 200 acres of land, which contained two houses and six barns. Patrick Cannon acquired ownership of 60 acres of the east half of Lot 74 from Thomas Cannon and siblings in 1907. Both the Union Publishers Farmers' and Business Directory (1908) and the Union Farmers and Business Directory (1911) record Patrick and James Cannon on Lot 74, Concession 1, King Township. The Guidal Landowners Map (1917) notes Patrick Cannon as the owner of the east part of Lot 74, King Township.⁸ Land records indicate sister Ellen Canon sold her part in Lot 74 to her brother Patrick in 1937.⁹

Appendix 1 contains a complete title search from 1803 to 2011.

3.2 Listing and written description of existing structures, significance and heritage attributes

Description

The main part of the 1½ storey, 3-bay, white (yellow) brick, circa 1870 farmhouse is approximately 30' x 24' (9.1m x 7.3m). Unlike most farmhouses of the era, the single storey tail (summer kitchen) is not attached to the rear of the house, either in line with one wall, or centred on the main house, but is set some 6' (1.8m) to the north side. It measures approximately 24' x 16' (7.3m x 4.9m) (Figures 4 - 9).

Gable roofs are found on both parts of the house. Chimneys are not original; the north side brick chimney (Figure 10) supports a fireplace in the front room. The west side (rear) rendered chimney serves the heating system (Figure 11). Original chimneys are not evident, although there appears to be some staining on the south side brick which may indicate a former chimney in that location (Figure 9).

The 3-bay front has been extensively modified with a "picture window" replacing the north side original (Figures 5 & 12) and aluminum siding cladding the upper storey, wrapping slightly around the north side (Figures 5 & 7). The roofs are clad in asphalt shingles (Figures 5 - 8).

⁸ *The Union Publisher's Farmers and Business Directory for the counties of Haliburton, Ontario, Peterboro, Victoria and York (Ingersoll, Ont.: Union Publishing Company, 1908)*

⁹ *Cultural Heritage Assessment Report, Built Heritage & Cultural Heritage Landscapes, Yonge Street/Ridge Road – Northwest Quadrant Secondary Plan, Town of Aurora, Ontario, (Part Lots 73, 74 and 75, Concession 1 East of Yonge Street, Geographic Township of King), March 2010, Unterman McPhail Associates, p. 7*

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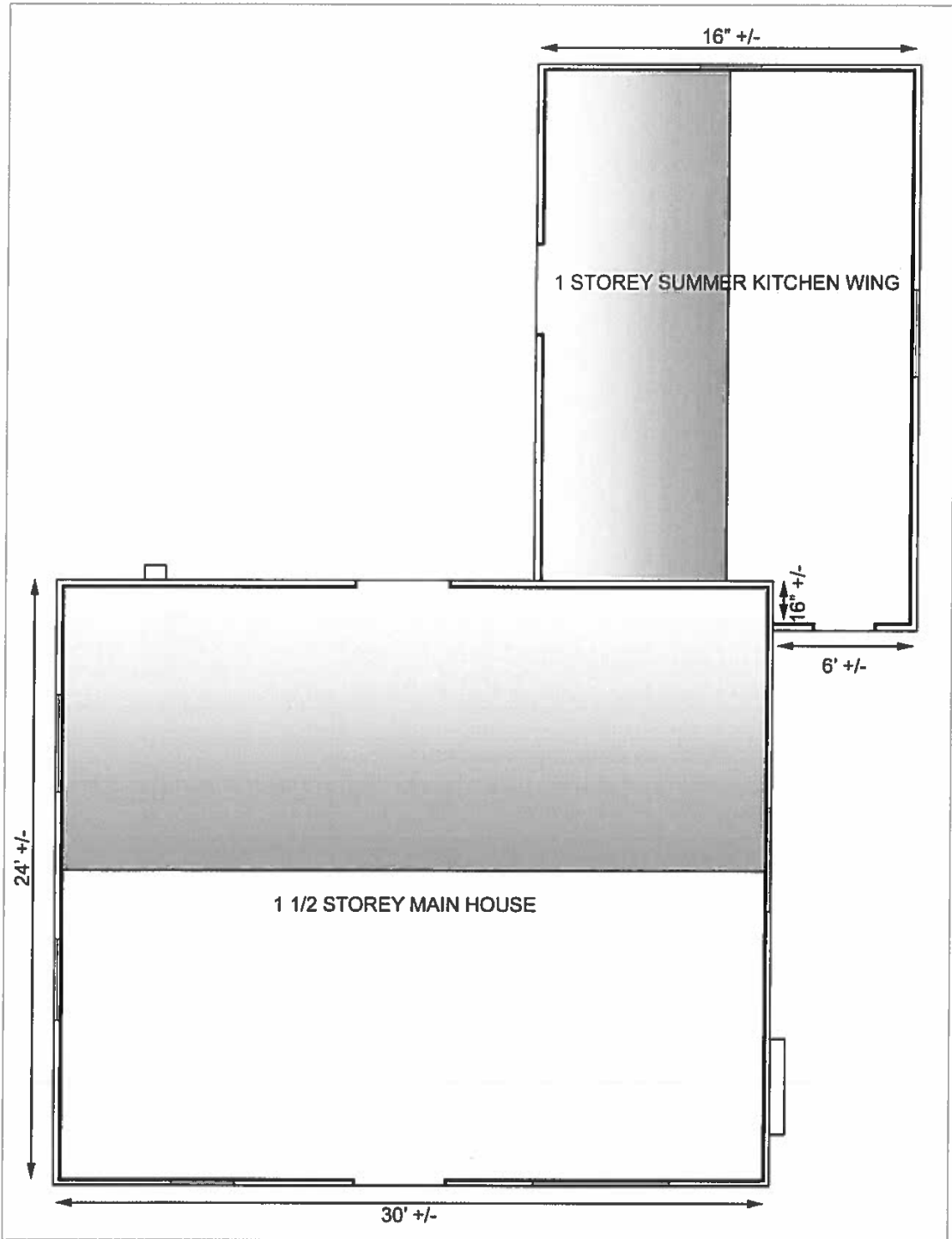


Figure 4

plan of farmhouse



Figure 5 front facade - replacement windows & door, aluminum siding on upper floor & added pediment over door



Figure 6 rear (west) facade - rear door blocked, opening sided with aluminum



Figure 7 north facade - aluminum siding wraps around corner, new chimney, skylight in summer kitchen wing



Figure 8 south facade - summer kitchen wing, aluminum siding



Figure 9 south facade - main body of house

All original windows have been replaced with aluminum models and window frames have either been replaced or more likely clad with aluminum (Figures 12 & 13). Window sills are concrete replacements and appear to be rendered. Lintels are slightly curved soldier course brick, suggesting that the original windows exhibited a curved top (Figures 13 & 14). Curiously, there is a brick string course on the north wall of the main body of the house (Figure 15). Whether this string course continues along the front facade is not known as the front facade has been covered with aluminum siding. The string course is not expressed on the south or west sides of the house.



Figure 10

north side chimney



Figure 11

west side chimney



Figure 12

replacement "picture" window - front facade



Figure 13 replacement aluminum window, concrete sill, soldier course brick header, non-functional shutters



Figure 14 rendered concrete sill



Figure 15 string course on north wall, aluminum clad sills and window frames

The front door has been replaced and adorned with pilasters and an aluminum-sided pediment (Figure 16). The former rear door is boarded-up and clad in the same siding (Figure 17), which also appears on a portion of the south wall of the summer kitchen wing (Figure 18) as well as the front facade (Figure 19). Aluminum soffits are also evident (Figure 19).



Figure 16 front door with pilasters and pediment



Figure 17 former rear door



Figure 19 aluminum siding & soffit



Figure 18 south wall & door - summer kitchen

The house is founded on a fieldstone mixed with red clay brick foundation (Figure 20). There is a full basement under the main body of the house, and no basement under the summer kitchen.



Figure 20

fieldstone & brick foundation

Context

The subject property was once a farmhouse on a 180 acre parcel of land in the Oak Ridges Moraine (Figure 21).



Figure 21

14288 Yonge Street context - *Brutto Consulting*

Urban development, guided by the *Town of Aurora Yonge Street South Secondary Plan, Amendment No. 34 to the Official Plan for the Town of Aurora*, is dramatically altering its context. Current views of the immediate area surrounding the house are found in Figures 22 - 30.



Figure 22 aerial view of 14288 and neighbouring properties (commercial use at top right, residence at bottom centre, woodlot (environmental area) at bottom left, Yonge Street at right, stripped/graded landscape at top right - Google Maps



Figure 23 view to south & woodlot (environmental area)



Figure 24

view from rear of house to the west



Figure 25

view from rear of house to the northwest



Figure 26

view from front of house to Yonge Street



Figure 27

view from Yonge Street



Figure 28

neighbouring residential property to the south



Figure 29

neighbouring commercial property to the north



Figure 30

Aurora Cemetery across Yonge Street

Significance

The *PPS*¹⁰ defines “built heritage resource” as one or more significant buildings, structures, monuments, installations or remains associated with architectural, cultural, social, political economic or military history and identified as being important to a community. These resources may be identified through designation or heritage conservation easement under the *Ontario Heritage Act*, or listed by local provincial or federal jurisdictions. The term “significant” means resources valued for the important contribution they make to our understanding of the history of a place, an event, or a people. “Conserved” means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

*Ontario Regulation 9/06 ‘Criteria for Determining Cultural Heritage Value or Interest’*¹¹ states for a property to be considered of cultural heritage value or interest, it must meet one or more of the following criteria:

1. have design value or physical value because it,
 - is a rare, unique, representative or early example of a style, type, expression, material or construction method,

¹⁰ *Provincial Policy Statement 2014*, Province of Ontario

¹¹ *Ontario Heritage Act, Ontario Regulation 9/06 ‘Criteria for Determining Cultural Heritage Value or Interest’* January 25, 2006

- displays a high degree of craftsmanship or artistic merit, or
 - demonstrates a high degree of technical or scientific achievement.
2. have **historical value or associative value** because it,
- has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. have **contextual value** because it,
- is important in defining, maintaining or supporting the character of an area,
 - is physically, functionally, visually or historically linked to its surroundings, or
 - is a landmark.

The property is not a rare, unique, representative or early example of a style, type, expression, material or construction method; rather it is a common farmhouse type of the latter part of its era, rendered in common materials. It does not display a high degree of craftsmanship or artistic merit, nor does it demonstrate a high degree of technical or scientific achievement.

The property does not have direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community; it does not yield, nor does it have the potential to yield, information that would contribute to an understanding of the community or culture, nor does it demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community.

The property is not important in defining, maintaining or supporting the character of the area; it is physically, visually and historically linked to its surroundings, but not functionally and its surroundings are being dramatically altered with urban development. It is not a landmark.

The property does not meet the Regulation 9/06 criteria and is not considered of cultural heritage value or interest under the *Ontario Heritage Act*.

Heritage Attributes




Although the property is not considered significant, it possesses a number of heritage attributes that should be considered in a conservation plan, namely:

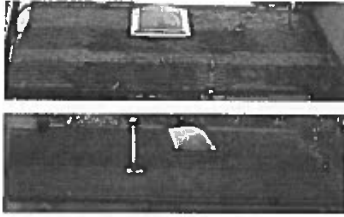



- the scale and massing of the 1½-storey main building, and single storey summer kitchen;
- the running bond load bearing white brick walls and north wall string course;
- the fieldstone & brick foundations;
- the gabled roofs of the main building, and summer kitchen wing;
- the original symmetrical division of the front elevation into 3 bays;
- its original window openings (with the exception of the east wall “picture window”) with arched brick soldier course lintels.





The interior of the house has been completely altered from the original. Partition walls have been moved and removed; all woodwork has been replaced with modern style trim; pine floors have been stripped and sanded to about 2/3 of their original thickness; a fireplace has been added, *etc.*

3.3 Condition and deficiencies

The house exhibits numerous condition problems and deficiencies; the obvious from a visual inspection are listed in the following table.

Item	Issue	Action Required	Photo
brick	<ul style="list-style-type: none"> • spalling from failed/plugged downspouts & eavestroughs 	<ul style="list-style-type: none"> • clean, repair and/or replace eavestroughs and downspouts • replace spalled brick with matching, salvaged brick & correct mortar 	
	<ul style="list-style-type: none"> • unknown brick condition behind aluminum siding on front facade & south side of summer kitchen wing 	<ul style="list-style-type: none"> • remove siding to ascertain condition of brick • make repairs to brick with matching salvaged brick & correct mortar 	
	<ul style="list-style-type: none"> • re-pointing of brick and foundation required throughout with period correct mortar - inappropriate Portland cement mortar used in the past 	<ul style="list-style-type: none"> • remove incorrect mortar & re-point with correct mortar 	

Item	Issue	Action Required	Photo
roofs	<ul style="list-style-type: none"> shingles are well past their lifespan - may be underlying roof issues as well. 	<ul style="list-style-type: none"> remove asphalt shingles to ascertain condition of roof replace roof sheathing where required & re-roof with wood, fibreglass, asphalt shingles or metal 	
downspouts & eavestroughs	<ul style="list-style-type: none"> eavestroughs are plugged with leaves - may have additional issues 	<ul style="list-style-type: none"> clean, repair and/or replace eavestroughs and downspouts 	
windows	<ul style="list-style-type: none"> incorrect window replacements with aluminum clad frames and sills; if wood frames are underlying, rot issues may exist 	<ul style="list-style-type: none"> remove aluminum coverings and windows to ascertain condition of underlying wood frames make repairs to or replace (depending on condition) wood frames & sills install new period style single-hung wood windows (2/2) 	
	<ul style="list-style-type: none"> “picture window” replacement on front facade not in period or context; brick has been removed to facilitate 	<ul style="list-style-type: none"> remove “picture window” make repairs to brick wall and header with matching salvaged brick and correct mortar install new pre-cast concrete sill to match 	

Item	Issue	Action Required	Photo
	<ul style="list-style-type: none"> • inappropriate shutters 	<ul style="list-style-type: none"> • remove shutters • make repairs to brick if required 	
doors	<ul style="list-style-type: none"> • inappropriate door replacements; out of character front door surround 	<ul style="list-style-type: none"> • replace door with period correct style solid wood door • remove pilasters and pediment & make repairs to brick as required 	
	<ul style="list-style-type: none"> • closed-in rear door 	<ul style="list-style-type: none"> • replace closed-in door with period correct wood door and screen/storm door 	
chimneys	<ul style="list-style-type: none"> • later chimney in non-matching brick requiring extensive re-pointing 	<ul style="list-style-type: none"> • remove chimney & make repairs to exterior brick wall - or - • repair brick & re-point chimney 	

The intention is to retain the former farmhouse on a generous lot in the new development. Its front door will face a new internal street. A complete renovation/restoration of the former farmhouse will be required. There is no original fabric on the interior to be retained or salvaged, providing opportunity to properly insulate and upgrade wiring, plumbing, HVAC, etc.

3.5 Repairs, stabilization and preservation activities

Deficiencies and condition issues noted in the visual inspection are outlined briefly in a previous section. A structural analysis has not been carried out. To determine the extent of the deficiencies, including electrical, plumbing, HVAC, insulation, structural, etc., destructive investigations will be required. At such time as an application for a building permit is made, these issues can be addressed in detail and in full. This Conservation Plan is intended to provide recommendations as to how the cultural heritage resource will be conserved.

There are measures which should be attended to in the short term in order to protect the resource from further degradation. These include roofing repairs/replacement, especially on the summer kitchen wing; eavestrough/downspout maintenance/repair to slow the deterioration of the relatively soft white brick; and re-pointing (or removal) of the fireplace chimney. Re-pointing of the brick and replacement of damaged and missing brick can be combined with cosmetic issues such as inappropriate windows and doors. Removal of aluminum siding and aluminum window frame coverings will be required to determine the condition and possible need for replacement of brick and wood window frames as well as windows.

Masonry

Exterior walls appear to be plumb and true without deflections that would normally be indicators of structural deficiencies. The brick, where exposed, is in fairly good condition for the most part, and reasonably clean. Some masonry repair will be required. It should be anticipated that repair will include: re-pointing of mortar joints; repair of masonry units; and replacement of masonry units. Compatible materials should be used in all locations where repair work is required. Salvaged brick should be sourced and should be of a comparable hardness and porosity. Mortar used for re-pointing should match the existing mortar in hardness and colour wherever possible. It is likely that the mortar used in the original construction was composed largely of lime, with limited, if any, amounts of Portland cement. No attempt should be made to clean the relatively soft white brick.

Specifications for masonry conservation work shall be as found in the *National Master Specification (NMS)*, and more specifically:

- 04 03 07 Historic: Masonry;
- 04 03 08 Historic: Mortaring; and
- 04 03 31 Historic: Replacing Brick (see Appendix 3).

Insulation

The insulation of previously uninsulated buildings, particularly buildings of masonry construction, has resulted in some unforeseen failures in the past. This is largely a result of the installation of wall assemblies that did not adequately appreciate the impact of the reduced temperature of the brick, coupled with the varying susceptibility of the brick to freeze-thaw deterioration. The wall assembly most commonly used to insulate existing masonry buildings includes, from the outside in: masonry; bond break (typically an air barrier such as *Tyvek* or *Typar*); closed-cell spray foam insulation; stud framing; and drywall. This particular assembly serves to minimize the vapour transmission from the inside to the outside using the spray foam insulation, reducing the risk of

condensation forming on the inside face of the now colder brick assembly. The use of the bond break is intended to provide some measure of reversibility of the spray foam.

Windows

Wood is the appropriate historical choice for replacing windows. Wood looks essentially the same as it did 100 years ago with the exception of using double-glazed, sealed units with high efficiency glass and SDLs made of a permanently bonded mullion on the interior and the exterior with a spacer between the glass to imitate the look of a TDL (true divided lite). The authenticity and efficiency are high. The original windows of this period were most likely single-hung, 2/2 lites. Replacements should be in this form.

Window sills that are exposed are concrete, with a skim coat rendering, some of which is flaking off. It is probable that these are replacements for the original wood sills which would have been more likely in this period. Sills on the north facade that are covered with aluminum are likely the original wood sills. The option is to replace all sills with new wood, or retain the concrete replacements and install new pre-cast concrete sills where replacement are required.

Roofing and Eavestroughing

The summer kitchen roof is in especially poor condition and in need of immediate attention. When the existing shingles are removed, it may be apparent that the underlying sheathing or roof boards are also in poor condition and will need repair and/or replacement. Options for roof claddings include: asphalt, fibreglass, or wood shingles and metal (aluminum or steel). The original roof cladding was likely sawn White Cedar shingles from an Ontario shingle mill. To replicate an original cedar shingle roof, sawn Western Red Cedar, Cypress, Pine or Redwood shingles can be sourced. Roof claddings are an item that requires replacement every few years and original roof claddings never survive a century or more. Replacements are rarely with the original material and it is appropriate to use non-original materials to replace roof cladding. Choices should not be limited to sawn wood shingles. Other materials in traditional colours are appropriate.

3.6 Conservation measures and interventions, long and short term maintenance programs

The immediate-term conservation measures include the re-roofing of the summer kitchen wing and possibly the main body of the house, and maintenance, repair and or replacement of the roof drainage elements. Market forces will determine the timing of restoration work noted above. The property could be sold "as is", leaving the restoration work to the purchaser, or it could be restored prior to being marketed. The current plan is to retain the property and continue to rent it. Should the building be left vacant for any length of time (it is occupied at this time), boarding-up of windows and installation of security lighting and cameras, as well as perimeter security fencing will be required.

3.7 Qualifications for those responsible for the necessary conservation work

The conservation work described in this Conservation Plan shall be executed under the supervision of a general contractor who shall engage specialist sub-contractors with a minimum of 5 years of experience working with heritage structures.

3.8 Schedule for conservation work, inspections, maintenance, associated costs and phases of work

Conservation work, other than immediate requirements, will be initiated upon the granting of a building permit for renovation/restoration work. Schedule is dependant upon the timing of the development of the Draft Plan (Figure 31). Inspection schedules will be related to the building, plumbing, etc. permits that will be required.

Associated costs cannot be estimated with any degree of accuracy until a thorough investigation of the vacant structure can be conducted.

3.9 Recommendations for monitoring

<i>heritage attribute</i>	<i>interval</i>	<i>action</i>
windows	annually	<ul style="list-style-type: none"> • visual inspection of sash for leaks • determine cause of leak • correct root cause issue prior to repairing damage • repair or replace damaged elements with like materials from same window manufacturer
concrete sills	annually	<ul style="list-style-type: none"> • visual inspection for cracks, stains, efflorescence • determine cause of damage • clean stains, efflorescence to <i>NMS</i> specification section 04 03 06 Historic: Cleaning Historic Masonry • patch cracks with appropriate mortar mix and colour to <i>NMS</i> specification section 04 03 07 Historic: Masonry Repointing and Repair
masonry & mortar	annually	<ul style="list-style-type: none"> • visual inspection of mortar joints for loose & missing mortar, cracks, stains, bulges • visual inspection of brick for cracks, stains, spalling, efflorescence • determine cause of damage • correct root cause issue prior to repairing damage • clean stains, efflorescence to <i>NMS</i> specification section 04 03 06 Historic: Cleaning Historic Masonry • re-point with correct mortar mix and colour to <i>NMS</i> specification 04 03 07 Historic: Masonry Repointing and Repair • replace brick with matching size, colour & texture brick and to <i>NMS</i> specification section 04 03 31 Historic: Replacement of Brick

Monitoring and maintenance shall be undertaken by personnel qualified in the maintenance of historic structures. Personnel must document adequate experience with and knowledge of the proper treatment and restoration of historic structures and their materials. Familiarity and experience with the Parks Canada procedures and restoration standards is desirable.

This Conservation Plan is respectfully submitted by:

CHC Limited



per: Owen R. Scott, OALA, FCSLA, CAHP

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REFERENCES

Aurora Register of Properties of Cultural Heritage Value or Interest, Planning & Development Services, Heritage Planning, January 2016

Town of Aurora Heritage Impact Assessments and Conservation Plans Guide, Planning and Building Services, Development Planning Division, Heritage Planning Section, August 2016

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Cultural Heritage Assessment Report, Built Heritage & Cultural Heritage Landscapes, Yonge Street/Ridge Road – Northwest Quadrant Secondary Plan, Town of Aurora, Ontario, (Part Lots 73, 74 and 75, Concession 1 East of Yonge Street, Geographic Township of King), March 2010, Unterman McPhail Associates

Draft Plan of Subdivision 14288 Yonge Street, Town of Aurora, Brutto Consulting Inc., December 2016

Internal Memorandum from Jeff Healey, Planning & Development Services, to Drew MacMartin, Planning and Development Services, re: Request for Comments – Draft Plan of Subdivision and Zoning By-law Amendment Applications, Frattaroli 14288 Yonge Street, Part of Lot 74, Concession 1 Files: D12-04-14 and D14-09-14, October 24, 2014

Illustrated Historical Atlas of the County of York, Ontario, Miles & Co. 1878

Library and Archives Canada, 1861 Census, <http://www.bac-lac.gc.ca/eng/census/1861/Pages/about-census.aspx>

Library and Archives Canada, 1871 Census, <http://www.bac-lac.gc.ca/eng/census/1871/Pages/about-census.aspx>

Library and Archives Canada, 1881 Census, <http://www.bac-lac.gc.ca/eng/census/1881/Pages/about-census.aspx>

Library and Archives Canada, 1891 Census, <http://www.bac-lac.gc.ca/eng/census/1891/Pages/about-census.aspx>

Library and Archives Canada, 1901 Census, <http://www.bac-lac.gc.ca/eng/census/1901/Pages/about-census.aspx>

Ontario Regulation 9/06 'Criteria for Determining Cultural Heritage Value or Interest' January 25, 2006

Ontario Ministry of Tourism, Culture and Sport website
http://www.mtc.gov.on.ca/en/publications/InfoSheet_8%20Guiding_Principles.pdf

Parks Canada website www.parkscanada.gc.ca

Province of Ontario *Ontario Heritage Act, R.S.O. 1990, c. O.18*

Province of Ontario *Provincial Policy Statement (PPS, 2014) Cultural Heritage and Archaeology Policies 2.6*

Conservation Plan, 14288 Yonge Street, Aurora, ON

28

Province of Ontario *InfoSheet* #5, Heritage Impact Assessments and Conservation Plans, Winter 2006

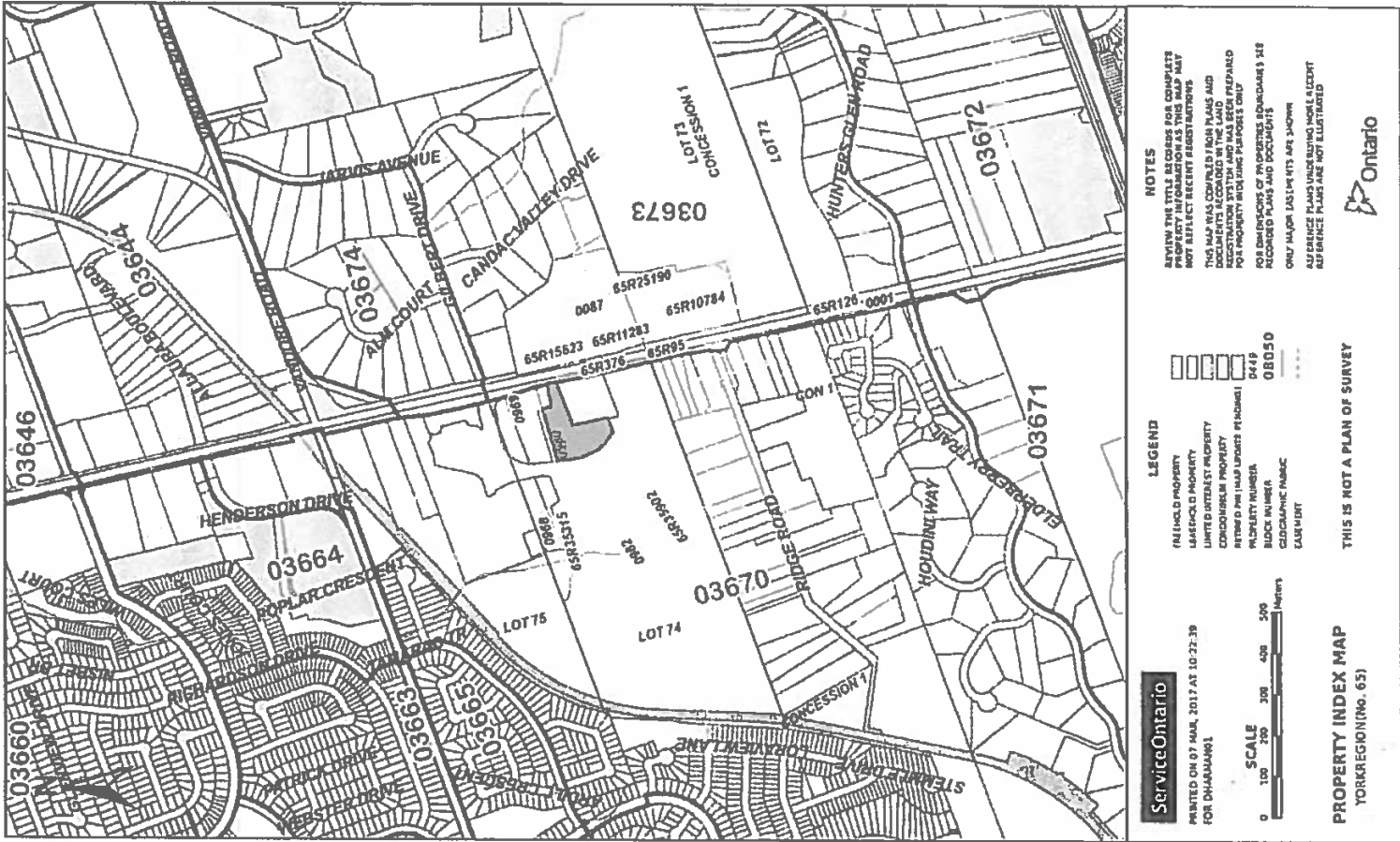
The Union Publisher's Farmers and Business Directory for the counties of Haliburton, Ontario, Peterboro, Victoria and York (Ingersoll, Ont.: Union Publishing Company, 1908)

Tremaine, George R., *Map of York County, Canada West*. G. R. & G. M. Tremaine, Toronto, 1860

Appendix 1

Chain of Title - PIN 03670-0980 - 14288 Yonge Street, Aurora

no.	instrument	instrument date	registered date	acres	from	to	sale price
	Patent	20 September 1803		200	The Crown	Jacob Crane Jr.	
1261	B & S	04 Nov 1805	11 Feb 1811	210	Jacob Crane Jr. <i>et ux.</i>	Charles Hubbard	
1622	B & S	25 Jan 1811	11 Feb 1811	210	Charles Hubbard	Thomas B. Walton	
22071	B & S	18 Jan 1844	30 Jan 1844	210 less 18 sold for taxes	Thomas B. Walton	Michael Cannon	\$288
house was built between 1844 and 1892, likely c. 1870							
7198	B & S	14 Nov 1892	25 Nov 1892	182	William Cannon <i>et ux. et al.</i>	Philadelphia Cannon	\$900
7199	B & S	10 Nov 1892	25 Nov 1892	182	Thomas Cannon <i>et ux. et al.</i>	Philadelphia Cannon	
7201	B & S	5 June 1914	15 October 1914	182	Philadelphia Cannon	Thomas Cannon <i>et al.</i>	
11404	B & S	02 Oct 1907	24 Oct 1907	52	Thomas Cannon <i>et al.</i>	Patrick & Ellen Cannon	\$1,500
4147?	Will	10 Oct 1916	15 Aug 1936	52	Ellen Cannon	Patrick Cannon for life, then to James Cannon	
23731	Deed	03 April 1945	14 April 1945	52	Estate of James Cannon	Doris Rushworth	\$5,400
1970A	Grant	03 April 1956	12 April 1956		Doris Rushworth	Elva Margaret Miller	\$16,000
2102B	Grant	11 April 1964	10 April 1964		Elva Margaret Miller	Peter & Janna B. Stortinbecker	\$24,000
184857?	Grant		05 Jan 1976		Peter & Janna B. Stortinbecker	Ronald Price & Audre G. Smith	
236830	Grant	30 Nov 1978	23 March 1979		Ronald Price & Audre G. Smith	Audre Greening Smith	
263507	Grant	19 Dec 1980	19 Dec 1980	4.12	Audre Greening Smith	Kari Asko & Marie Regina Alopaeus	\$125,000
439167	Grant		07 July 1987	4.12	Kari Asko & Marie Regina Alopaeus	Kari A. Alopaeus	\$19,958.43
YR759047	Transfer		06 Jan 2006	4.12	Kari A. Alopaeus	Derrick McNamara	\$413,092.41
YR1615590	Transfer		28 Feb 2011	4.12	Derrick McNamara	David & Judith Ann Frattaroli	\$1,200,000



Property Index Map - Queen's Printer of Ontario 2017

NOTES

REVIEW THE TITLE RECORDS FOR COMPLETE PROPERTY INFORMATION AS THIS MAP MAY NOT REFLECT RECENT RESTRICTIONS.

THIS MAP WAS COMPILED FROM PLANS AND RECORDS FILED IN THE LAND REGISTRY OFFICE FOR PROPERTY INFORMATION AND IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION SHOWN THEREON. THE INFORMATION IS PROVIDED AS IS AND DOES NOT CONSTITUTE A WARRANTY OR REPRESENTATION OF ANY KIND.

ONLY MAPS THAT HAVE BEEN APPROVED BY THE REGISTRAR OF LANDS AND RECORDS ARE VALID FOR THE PURPOSES OF THIS MAP.

LEGEND

- FULLY OWNED PROPERTY
- LARGE HOLD PROPERTY
- LIMITED INTEREST PROPERTY
- CONDOMINIUM PROPERTY
- RETIRED P&H MAP LOTS (PIN#001)
- PROPERTY NUMBER
- BLOCK NUMBER
- GEOGRAPHIC NAME
- TAX MAP

0 100 200 300 400 500 Feet

0849 08050

THIS IS NOT A PLAN OF SURVEY

ServiceOntario

PRINTED ON 07 MAR 2017 AT 10:22:39 FOR DHAMAR01

PROPERTY INDEX MAP
 YORK REGION (No. 65)



Queen's Printer for Ontario, 2017

Attachment 7



September 19, 2017

To Whom it May Concern

**Re: 14288 Yonge Street, Aurora, ON
Support for request to remove the property from the Heritage Register
our file: 1708**

The property at 14288 Yonge Street is listed on the Town's Heritage Register. It is not designated under either Part IV or Part V of the *Ontario Heritage Act*.¹ The lands within which the subject property is located were the subject of a cultural heritage evaluation report² (CHER) in 2010. In that report, the subject property was noted as one of two cultural heritage resources located adjacent to the subject development lands, the other being east of Yonge Street. A Conservation Plan was prepared for the property for the owner in April 2017³. The owner had intended to retain the house as a rental unit at that time.

The property is being purchased by Cedartrail Developments Inc. who indicate that its retention and restoration is not economically feasible, nor conducive to plans for development of the property.

The property was evaluated in the preparation of the Conservation Plan and was found to not meet the criteria of *Regulation 9/06* and was not considered of cultural heritage value or interest under the *Ontario Heritage Act*.

"The property is not a rare, unique, representative or early example of a style, type, expression, material or construction method; rather it is a common farmhouse type of the latter part of its era, rendered in common materials. It does not display a high degree of craftsmanship or artistic merit, nor does it demonstrate a high degree of technical or scientific achievement.

The property does not have direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community; it does not yield, nor does it have the potential to yield, information that would contribute to an understanding of the community or culture, nor does it demonstrate or reflect the work or ideas of an architect, artist, builder, designer or theorist who is significant to the community.

¹ *Aurora Register of Properties of Cultural Heritage Value or Interest*, Planning & Development Services, Heritage Planning, January 2016

² *Cultural Heritage Assessment Report, Built Heritage & Cultural Heritage Landscapes, Yonge Street Ridge Road – NorthWest Quadrant Secondary Plan*, Town of Aurora, Ontario, (Part Lots 73, 74 and 75, Concession 1 East of Yonge Street, Geographic Township of King), March 2010, Unterman McPhail Associates

³ *Conservation Plan 14288 Yonge Street, Part Lot 74, Concession 1, West of Yonge (WYS), formerly King Township, Aurora, ON*, CHC Limited April 7, 2017

The property is not important in defining, maintaining or supporting the character of the area; it is physically, visually and historically linked to its surroundings, but not functionally and its surroundings are being dramatically altered with urban development. It is not a landmark.”⁴

Furthermore, the house exhibits numerous condition problems and deficiencies as noted in the Conservation Plan, including:

- spalled brick from failed/plugged downspouts & eavestroughs,
- eavestroughs plugged with leaves that may be creating additional issues,
- unknown brick condition behind inappropriate aluminum siding on the front facade and south side of the summer kitchen wing,
- incorrect Portland cement mortar requiring re-pointing of brick and foundation stone,
- shingles that are well past their lifespan which may portend underlying roof issues,
- incorrect window replacements with aluminum clad frames and sills - underlying wood frames may have rot issues,
- a “picture window” replacement on the front facade with brick removed to facilitate,
- inappropriate shutters requiring brick repair,
- inappropriate door replacements with an out-of-character front door surround,
- a closed-in rear door requiring new door, trim, *etc.*, and
- a later chimney in non-matching brick requiring extensive re-pointing or replacement.

Although the interior was not examined in detail, a brief view and discussion with the tenant indicated that the HVAC, electrical and plumbing systems, as well as insulation and interior finishes, all require significant upgrading.

The condition problems and upgrades required to achieve the recommendations of the Conservation Plan and bring the building to code are significant to the point where the marketability of the house becomes questionable.

The revised development proposal, on a private, dead-end street, will screen the house from Yonge Street so that it will no longer be visible from the public realm.

For the reasons noted above, we support the removal of the property from the Town of Aurora Heritage Register.

Yours very truly,

CHC Limited



Owen R. Scott, OALA, FCSLA, CAHP

⁴ *Ibid* p. 19



**Town of Aurora
Heritage Advisory Committee Report No. HAC17-025**

**Subject: Request to Remove a Property from the Aurora Register of Properties of Cultural Heritage Value or Interest
86 Temperance Street**

Prepared by: Jeff Healey, Planner/Heritage Planning

Department: Planning and Building Services

Date: November 13, 2017

Recommendation

- 1. That Report No. HAC17-025 be received; and**
- 2. That the Heritage Advisory Committee recommend to Council:**
 - (a) That the property located at 86 Temperance Street be removed from the Aurora Register of Properties of Cultural Heritage Value or Interest upon issuance of a demolition permit for the property; and**
 - (b) That future building elevations are subject to approval of Planning Staff to ensure the proposed new dwelling will maintain the heritage character of the area; and**
 - (c) That the Black Walnut tree located in the southwest corner of the lot be preserved.**

Executive Summary

The purpose of this report is to provide Council with direction from the Heritage Advisory Committee regarding the request to remove the property located at 86 Temperance Street from the Aurora Register of Properties of Cultural Heritage Value or Interest.

- The structure was constructed circa 1924 and can be described as a 1 ½ storey bungalow
- The house was originally owned by James and Evelyn Black
- The owners have submitted conceptual elevations for a new single detached dwelling

November 13, 2017

- 2 -

Report No. HAC17-025

Background

The owner of the property located at 86 Temperance Street submitted an Application to request that the subject property be removed from the Aurora Register of Properties of Cultural Heritage Value or Interest on September 22, 2017.

Location

The subject property is located on the west side of Temperance Street between Tyler Street and Reuben Street (See Attachment 1). The property is listed and non-designated on the Aurora Register of Properties of Cultural Heritage Value or Interest and can be described as an Arts and Crafts bungalow. The building was constructed c. 1924, the builder of the main structure is unknown.

Provisions of the Ontario Heritage Act for delisting process

According to Section 27 of the *Ontario Heritage Act*, a Municipal Register of Cultural Heritage Value or Interest may include properties that have not been designated under the *Ontario Heritage Act*, but that the Council of a Municipality believes to be of cultural heritage value or interest.

The principal implication of properties non-designated and listed on the Aurora Register pertains to subsection 27. (3) of the *Ontario Heritage Act* where,

If property included in the register under subsection (1.2) has not been designated under section 29, the owner of the property shall not demolish or remove a building or structure on the property or permit the demolition or removal of the building or structure unless the owner gives the council of the municipality at least 60 days notice in writing of the owner's intention to demolish or remove the building or structure or to permit the demolition or removal of the building or structure. 2006, c. 11, Sched. B, s. 11 (2).

The purpose of providing Council with 60 days to determine the Notice of Intention is to provide time to determine whether or not the property should be designated under the *Ontario Heritage Act*. According to subsection 27(1.3) of the *Ontario Heritage Act*, the Council of a Municipality shall, before removing the reference to such a property from the Register, consult with its Municipal Heritage Committee.

Analysis

History of the Property

According to research prepared by Jaqueline Stuart (see Attachment 6), the land parcel for 86 Temperance Street was purchased by James Black in 1913 for \$150. James Black was a teamster by profession. The house did not exist on the property until 1925, when the valuation of the land increased to \$725. James lived in the home with his wife

November 13, 2017

- 3 -

Report No. HAC17-025

Evelyn and five children. James Black would pass away in 1945, but the home would continue to be owned by his widow Evelyn until her death in 1972.

The next owners of the house were Lawrence and Pauline Hutchinson who owned 86 Temperance for three years. Lawrence was a local photographer. After the Hutchinson's, Margaret Eccles owned the home from 1975 until (at least) 1998.

The house appears to have been vacant since 2015.

Heritage Features of the Existing Building

The existing building can be described as a 1½ storey structure with a side gabled roof. The building displays a wood front porch, supported by Georgian style, wood columns, raised to meet the front door of the home. The front façade displays two 1 over 1 double-hung windows. The building was likely originally sided with wood clapboard, but has since been covered with vinyl siding. The rear portion of the home appears to have been altered, constructing attic space on the northwest corner of the home, topped with a front gable roof and a shallow side gable roof. Upon review of Fire Insurance Maps and Aerial photography, this alteration likely occurred between 1960 and 1978. The property does not contain any accessory structures.

A mature black walnut tree is located at the southwest corner of the lot. It is recommended that the existing tree be preserved.

A site visit was conducted on October 26, 2017 (see Attachment 4). The interior comprises of a new kitchen, laminate wood floors and an updated living room. The original layout of the home remains the same, and some original doors, windows and ventilation grates are still present. There appears to be extensive raccoon and water damage within the home.

The neighbourhood comprises of Listed Heritage Properties

Temperance Street, between Tyler Street to the north and Reuben Street to the south, encompasses a total of twenty-seven (27) properties, twenty-two (22) of which are listed on the Aurora Register of Properties of Cultural Heritage Value or Interest.

This portion of Temperance Street contains a wide variety of architectural styles including, Georgian Confederation Cottages, Arts and Crafts bungalows, Worker's Houses and Edwardian/ Foursquare architectural styles. It is noted that 86 Temperance Street is located within close proximity of three (1) property Designated under Part IV of the *Ontario Heritage Act*. The designated properties are as follows:

- 98 Temperance Street- The Theodore Kirkby House

Furthermore, staff have recently received a request to Designate 83 Temperance Street, The Ireland-Moore House, under Part IV of the *Ontario Heritage Act*.

November 13, 2017

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Report No. HAC17-025

Building Evaluation

The Evaluation Working Group met to perform an objective evaluation of the subject property on Monday March, 2016 (See Attachment 3). The Evaluation Criteria for assessing the cultural heritage value of cultural heritage resources have been developed by the Town in consultation with its Municipal Heritage Committee. As per Section 13.3 e) of the Official Plan, Priority will be given to designating all Group 1 heritage resources in the Register.

The purpose of the Evaluation is to identify the design/physical value, historical/associative value, and contextual value of the property as per Ontario Regulation 9/06, which outlines the criteria for determining cultural heritage value or Interest under the *Ontario Heritage Act* in order to conserve significant heritage resources.

The Evaluation found the subject property to score in the low end of Group 2, suggesting that the property is “significant, worthy of preservation”.

According to the Heritage Evaluation Guide for buildings scored within Group 2:

- The designation of the building pursuant to the *Ontario Heritage Act* will be encouraged;
- The retention of the structure in its existing location is encouraged;
- Any development application affecting such a structure should incorporate the identified building; and
- Appropriate alternative uses for the building will be encouraged when necessary to ensure its preservation.
- A Letter of Credit may be required to ensure the protection and preservation of the building in connection with a redevelopment application.

The conservation of remaining physical attributes of the property would require formal designation under Part IV of the *Ontario Heritage Act*, making it necessary for owners to obtain Heritage Permits for proposed work.

The *Ontario Heritage Act* provides criteria for determining cultural heritage value or interest with Ontario Regulation 9/06. This Regulation requires that a building must exhibit significant design/physical, or associative, or contextual value to warrant designation. The Evaluation working group found the final weighted score for 86 Temperance Street to be 46.2/100.

Proposed Concept Plan

The owner wishes to remove the property from the Aurora Register as a non-designated ‘listed’ property with the intention of demolishing the existing structure on the subject property to construct a new building. Elevations of the proposed building type were provided by the owner are shown in Attachment 5.

November 13, 2017

- 5 -

Report No. HAC17-025

The applicant is proposing to build a new single detached residence. The new design can be described as a two storey brick building designed in a contemporary style with elements derived from Edwardian/ Foursquare styles. The owner's propose the new structure to be clad with brick. The home is proposed to cover 16% of the lot, which is adequate in scale and size with other homes on the street. A garage is not proposed. Minor alterations to the design of the structure will be required. Planning Staff will work with the applicant on detailed aspects of the building during the building permit process.

It is noted that the property is currently zoned Second Density Apartment Residential (RA2) zone under Zoning By-law 6000-17. As such, the existing building is currently in a legal non-conforming status. Once the existing home is removed, the owners will need an amendment to the zoning by-law in order to construct a new home on the lands. Staff have informed the owners of this matter.

Design Review Panel

The application was reviewed by the Design Review Panel on November 3rd, 2017. No comments were available at the time of writing of this report.

Financial Implications

There are no financial implications.

Communications Considerations

No Communication Required.

Link to Strategic Plan

The conservation of heritage resources supports the Strategic Plan goal of Supporting an Exceptional Quality of Life for All through its accomplishment in satisfying requirements in objective Celebrating and Promoting our Culture.

Alternatives to the Recommendation

1. Refuse the application and recommend that the property remain listed on the Aurora Registrar of Properties of Cultural Heritage Value or Interest.
2. Refuse the application and recommend Designation under Part IV of the *Ontario Heritage Act*.

November 13, 2017

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Report No. HAC17-025

Conclusions

The subject building was evaluated using the Town of Aurora Heritage Building Evaluation Guide and was rated in the low end of Group 2, which encourages the retention of the building as well as designation under the *Ontario Heritage Act*. It is recommended that the proposed elevations are subject to approval of Planning Staff to ensure a future new dwelling will maintain the heritage character of the area. The zoning considerations on the lands will need to be addressed before a new home is constructed on the property. Staff recommend the Heritage Advisory Committee remove of 86 Temperance Street from the Aurora Registrar of Properties of Cultural Heritage Value or Interest.

Attachments

Attachment #1 – Location Map
Attachment #2 – Heritage Resource Brief (2010)
Attachment #3 – Evaluation Working Group Score, 86 Temperance Street
Attachment #4 – Photos of 86 Temperance Street (2017)
Attachment #5 – Proposed Design- 86 Temperance Street
Attachment #6 – Letter from Jaqueline Stuart
Attachment #7 – Zoning Map

Previous Reports

None.

Pre-submission Review

Agenda Management Team Meeting review on November 1, 2017.

Departmental Approval

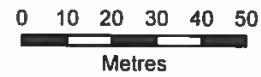


Marco Ramunno
Director, Planning and Building Services



LOCATION PLAN
HAC17-025
86 TEMPERANCE STREET
ATTACHMENT 1


 **SUBJECT LANDS**



Map created by the Town of Aurora Planning and Building Department, October 23, 2017. Base Data Provided by York Region.

Attachment 2

**AURORA REGISTER OF PROPERTIES OF CULTURAL
HERITAGE VALUE OR INTEREST (Updated 2017)**

SITE	<p>Address: 86 Temperance Street Former Address: Legal Description: PLAN: 9 PART LOT: 23</p>
STATUS	<p>Current Use: Residence Original use: Residence Heritage Status: Listed By-law No. & Date: Official Plan: Stable Residential Zoning: RA2 (Apartment 2nd Density) HCD: Plaques:</p>
PHOTOGRAPH	
KEY MAP	<p></p>

**AURORA REGISTER OF PROPERTIES OF CULTURAL
HERITAGE VALUE OR INTEREST (Updated 2017)**

ARCHITECTURE

GENERAL INFORMATION:

Address:	86 Temperance Street	Builder:	
Construction Date:	1924	Architect:	
Architectural Style:	Worker's House	Original Owner:	James Black
Heritage Easement:		Historical Name:	

GENERAL DESCRIPTION:

Floor Plan:		Storey:	1
Foundation Materials:			
Exterior Wall Materials:			
Roof Type:	Gable	Windows:	
Entrance:		Bays:	

UNIQUE FEATURES:

Chimney (s):		Special Windows:	
Dormers:		Porch/Verandah:	Verandah; enclosed porch
Roof Trim:		Door Trim:	
Window Trim:		Other:	Aluminum siding

HISTORY

Historical Society files include:

Town of Aurora files include:

PHOTOS:

HISTORICAL PHOTO	1995 INVENTORY PHOTO
Photo date	Photo date

The Aurora Inventory of Heritage Buildings was compiled by the Aurora Heritage Advisory Committee (LACAC) between 1976 and 1981. The completed inventory was adopted by Council and released in 1981. On September 26, 2006 Aurora Council at its meeting No. 06-25, has officially changed the name of the Aurora Inventory of Heritage Building to the "Aurora Register of Property of Cultural Heritage Value or Interest" and all property included in the Inventory were transferred to the Register.

HERITAGE BUILDING EVALUATION SCORE SHEET

Municipal Address: <u>86 Temperance St</u>					Group: <u>2</u>
Legal Description: _____		Lot: _____		Cons: _____	
Date of Evaluation: <u>Oct 25/17</u>		Name of Recorder: <u>JH</u>			
HISTORICAL	E	G	F	P	TOTAL
Date of Construction	30	20	<u>10</u>	0	10/30
Trends/Patterns/Themes	40	27	<u>14</u>	0	14/40
Events	15	10	5	<u>0</u>	0/15
Persons/Groups	15	10	5	<u>0</u>	0/15
Archaeological (Bonus)	10	7	3	<u>0</u>	0/10
Historic Grouping (Bonus)	10	7	3	<u>0</u>	0/10
Construction Date (Bonus)	10				/10
HISTORICAL TOTAL					24/100
ARCHITECTURAL	E	G	F	P	TOTAL
Design	20	13	<u>7</u>	0	7/20
Style	30	20	<u>10</u>	0	10/30
Architectural Integrity	20	<u>13</u>	7	0	13/20
Physical Condition	20	<u>15</u>	<u>7</u>	0	7/20
Design/Builder	10	7	3	<u>0</u>	0/10
Interior (Bonus)	10	7	<u>3</u>	0	3/10
ARCHITECTURAL TOTAL					40/100
ENVIRONMENTAL					TOTAL
Design Compatibility	40	<u>27</u>	14	0	27/40
Community Context	20	15	<u>7</u>	<u>0</u>	7/20
Landmark	20	13	<u>7</u>	0	7/20
Site	<u>20</u>	13	7	0	20/20
ENVIRONMENTAL TOTAL					61/100

SCORE	INDIVIDUAL	OLD AURORA
Historical Score	X 40% = _____	24 X 20% = <u>4.8</u>
Architectural Score	X 40% = _____	40 X 35% = <u>14</u>
Environmental Score	X 20% = _____	61 X 45% = <u>27.45</u>
TOTAL SCORE	<input type="text"/>	<input type="text" value="46.3"/>

GROUP 1 = 70-100

GROUP 2 = 45-69

GROUP 3 = 44 or less

Attachment 4

Site Photos: 86 Temperance Street- October 2017



86 Temperance- Front Elevation



86 Temperance- Rear Elevation

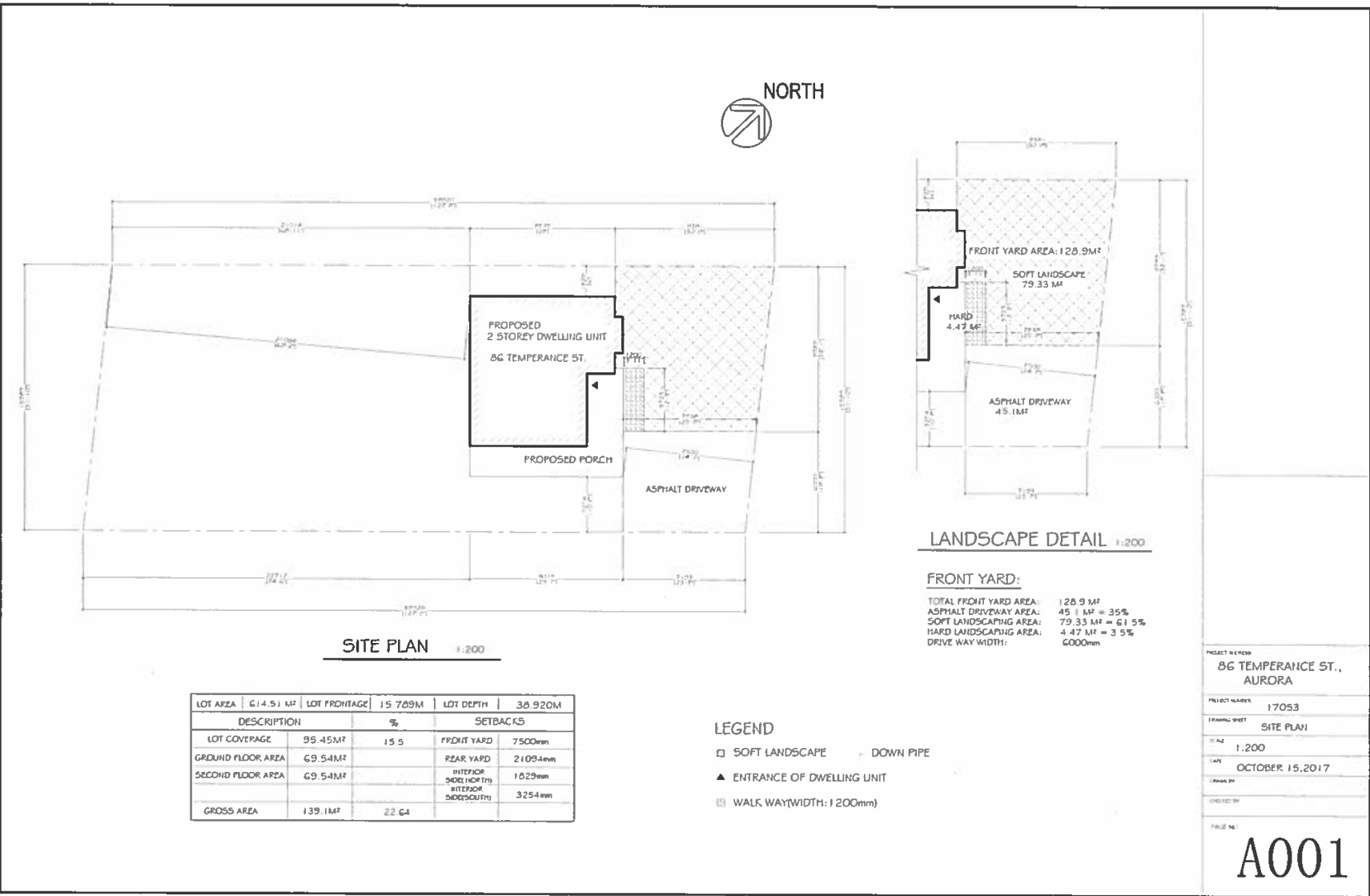
Attachment 4



86 Temperance- Existing mature Black Walnut Tree



86 Temperance- Looking northwest





EAST ELEVATION 1:100

PROJECT ADDRESS
 86 TEMPERANCE ST.,
 AURORA

PROJECT NUMBER
 17053

DRAWING SHEET
 EAST ELEVATION

SCALE
 1:100

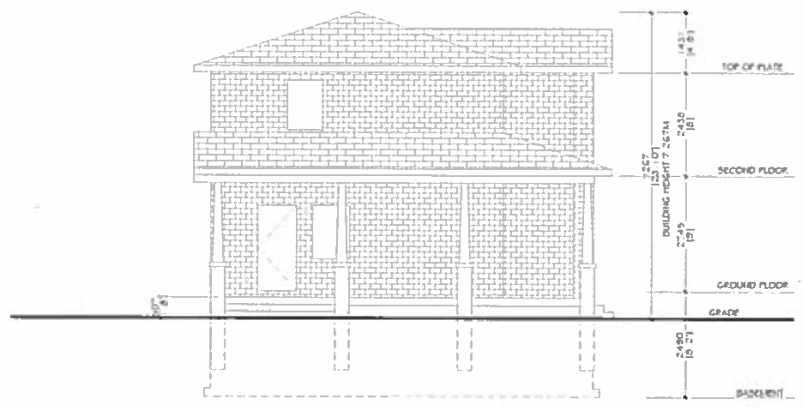
DATE
 OCTOBER 15, 2017

DRAWN BY

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PAGE NO.

A005



SOUTH ELEVATION 1:100

PROJECT ADDRESS
 86 TEMPERANCE ST.,
 AURORA

PROJECT NUMBER
 17053

DRAWING SHEET
 EAST ELEVATION

SCALE
 1:100

DATE
 OCTOBER 15, 2017

DRAWN BY

CHECKED BY

DATE

A006



NORTH ELEVATION 1:100

PROJECT ADDRESS
 86 TEMPERANCE ST.,
 AURORA

PUBLIC ID NUMBER
 17053

DRAWING TITLE
 NORTH ELEVATION

SCALE
 1:100

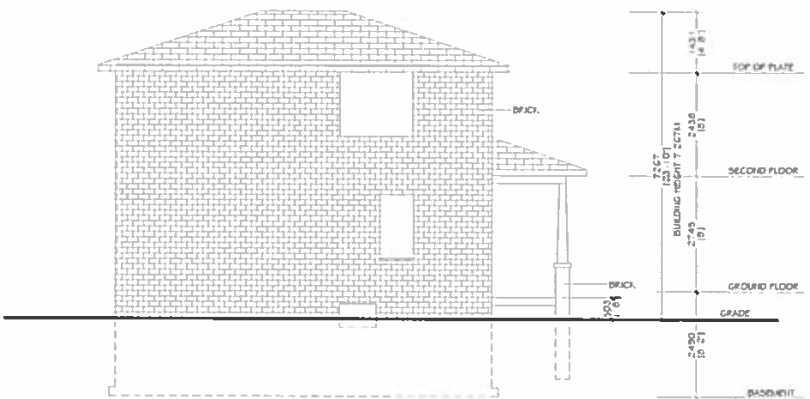
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PLATE NO.

A007



WEST ELEVATION 1:100

PROJECT NAME:
 86 TEMPERANCE ST.,
 AURORA

PROJECT NUMBER
 17053

EXHIBIT SHEET
 WEST ELEVATION

SCALE
 1:100

DATE
 OCTOBER 15, 2017

DRAWN BY

CHECKED BY

FACE NO.

A008

24 June 1998

Mrs. M.R. Eccles
86 Temperance Street
Aurora, Ontario.

Dear Mrs. Eccles:

First—what a pleasure it was to chat with you on the week-end, and to hear of how you came to acquire that house. I have also made a note about the open-house for ducks next door!

As I think I mentioned when you were here, your house appears to have been constructed in 1924, or possibly early in 1925. The enclosed notes from the land ownership records show that James Black purchased the lot in 1913. Even back then, the \$150 he paid was not likely to have included a dwelling! The assessment roll—more notes enclosed—confirms the fact that there was no building; the roll for 1924 states that the lot was vacant, and gives a value for land only. By the time of the 1925 assessment, however (and this work was usually done early in the year), there was a house on the property with a value for taxation purposes of \$725.

James Black was a teamster by trade, and I suspect that in his case that still meant driving teams of horses, not driving trucks! Prior to moving to Temperance Street, the Blacks lived in a house on Yonge Street owned by another teamster. As you know, Mrs. Black's maiden name was Evelyn May Attridge; from her age, I would guess that she was a sister of Victor Attridge, the first of the family to own the lumber business here. The Attridges and the Blacks were both King township families.

The Blacks had three daughters and two sons, and at least some of those children would have lived in the Temperance Street house. Coincidentally, among the pile of house-history enquiries I am dealing with at the moment is one for a house on Metcalf Street which for some twenty years was occupied by Nelson Fierheller, almost certainly the same "N. Fierheller" to whom Grace Black was married (there is some evidence that they separated, however). One of the sons, Norris Black, predeceased his mother, and another daughter, Florence Peters, died in 1979.

James Black died in 1945, and a copy of his obituary is enclosed (*Aurora Banner*, 7 December 1945). Mrs. Black lived to the great age of ninety-four, and died in 1975 (file of death notices from the *Banner*, Aurora Museum).

The house was sold before Mrs. Black's death—she died at the Cobblestone nursing home in Aurora—and the purchaser, in 1972, was Pauline Hutchinson. Her husband, Lawrence, was a local photographer—he later owned the property at 57 Temperance, with the house tucked in behind.

The Hutchinsons owned number 86 for only three years: in view of the Blacks' long tenure, and your own twenty-three year ownership (so far!) I think that hardly counts.

In addition to the enclosures already mentioned, there are three sheets copied from various editions of the fire insurance plans for Aurora. These fascinating documents show every building, its 'footprint,' construction material, and use. In 1913 there was nothing immediately south of the stream crossing, but by 1927 three houses were in place, and by 1960 the most northerly of the group was there.

Incidentally, in 1938 the Blacks purchased what I think would be the house next door, to the north, and rented it out. In 1946 Mrs. Black sold it back to the family from whom it had been purchased eight years earlier.

Most of this history is not new to you, but I hope you may find the documentation of interest. Thank you very much for asking!

Sincerely,



Jacqueline Stuart
Curator, Aurora Museum

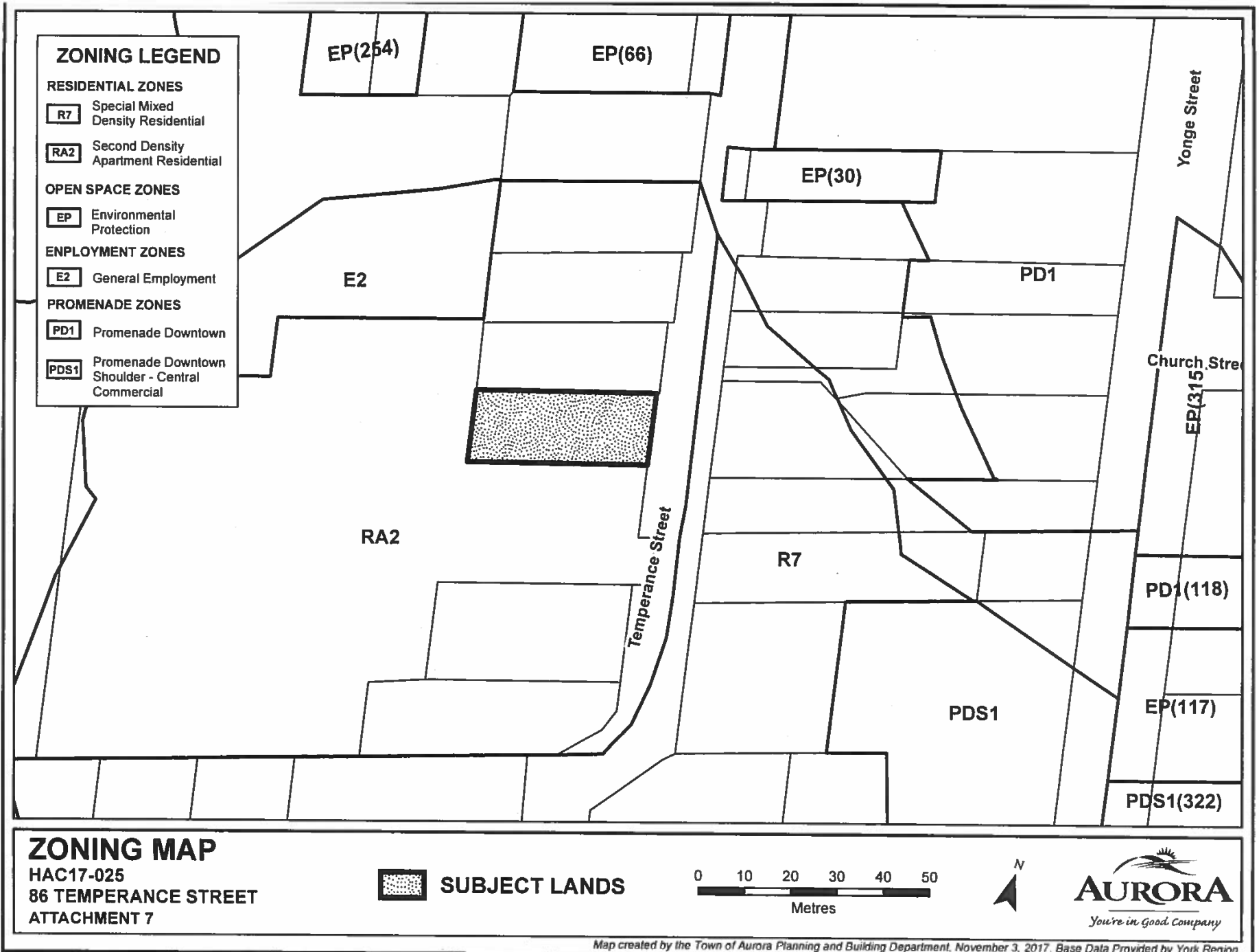
Notes from assessment rolls for 86 Temperance Street

- 1924 James Black, teamster, freeholder [owner]; Temperance , 50 ft, vacant lot; value of land for taxation purposes, \$175
- 1925 James Black, age 50, teamster, and Mrs. James Black, freeholders; west side Temperance, 50 ft, built on; value of land \$175, of building(s) \$725
- 1932 James Black, age 57, teamster, and Mrs. James Black, age 51, owners; west side Temperance, 50 ft, built on; value of land \$175, of building(s) \$725
- 1941 James Black, age 57, teamster, and Mrs. James Black, age 51, owners; west side Temperance, 50 ft, built on; value of land \$175, of building(s) \$725
- 1951 Mrs. James Black, widow, owner; 86 Temperance, part lots 23-24, 50 ft; value of land \$320, of building(s) \$500

Extracts from Abstract Index for part Lot 23, Plan 9, Aurora: 86 Temperance Street

<u>Instrument Number</u>	<u>Instrument</u>	<u>Instrument Date</u>	<u>Reg'n Date</u>	<u>Grantor</u>	<u>Grantee</u>	<u>Cons'n [\$]</u>	<u>Notes</u>
5202	B&S	8 May 1913	13 Oct 1916	Elizabeth Holder	James B. Black	150.00	part lot 23: 56 ft fronting on Temperance St., subject to right of way
6262	B&S	8 Aug 1922	15 Aug 1922	James B. Black	Evelyn May Black	L&A + 1.00	part lot 23: 52 ft front: x 140 ft deep, less east 10 ft for road
123585	Grant	17 July 1972	18 July 1972	Evelyn Black, by her attorney, Florence Peters	Pauline R. Hutchinson	1.00	part lot: commencing 208 ft north on west side Temperance from south limit and running north 52 ft, less part for road 12 ft wide
174183	Grant	21 May 1975	6 June 1975	P.R. Hutchinson	Margaret R.C. Eccles	v.c. + 2.00	part lot: commencing 208 ft north from SEL and running north 138 ft 3 in± less 12 ft for roadway

B&S: Bargain and Sale: normal sale transaction
 Cons'n: Consideration: usually the price paid
 Grant: transfer of ownership, usually normal sale transaction
 L&A: Love & Affection: a family transaction
 RoW: right of way
 SEL: South East Limit
 V.c.: value of consideration: the price paid, which has not been revealed





**Subject: Wood Plaque Application
101 Temperance Street**

Prepared by: Jeff Healey, Planner/Heritage Planning

Department: Planning and Building Services

Date: November 13, 2017

Recommendation

- 1. That Report No. HAC17-026 be received for information.**

Executive Summary

The purpose of this report is to provide the Heritage Advisory Committee information with respect to a Wood Plaque Application for 101 Temperance Street.

- 101 Temperance Street was completed in 1911 by Fred Browning
- The Dyke family are long-standing and notable owners who lived in the home between 1918 and 1976.

Background

As per By-law 5365-11 being a By-law to delegate certain assigned Council authority under the *Ontario Heritage Act* to staff whereby, "The Manager is authorized to approve the application for, and order the creation of, interpretive wood plaques for heritage properties as part of the Heritage Advisory Committee education initiative." As such, the Director of Planning and Building Services has processed and approved the Application for Wood Plaque at 101 Temperance Street.

On September 24, 2017, the Owners of 101 Temperance Street submitted an Application to receive a Wood Plaque.

The property located at 101 Temperance Street is a Listed and designated property on the Aurora Register of Properties of Cultural Heritage Value or Interest. The property is located within the Northeast Old Aurora Heritage Conservation District. The Register describes the property as being constructed circa 1910. The house was constructed in a Worker's House architectural style (Attachment 1).

November 13, 2017

- 2 -

Report No. HAC17-026

Brief History

According to research prepared by the Jaqueline Stuart (Attachment 2), the lot containing 101 Temperance Street was owned by builder George T Browning. Circa 1910, George Browning constructed a new home on Yonge Street (formerly known as the George T Browning House, demolished in 2012). The western half of the lot, which fronted onto Temperance Street was severed to construct a new home. The home would be constructed by George's brother Fred Browning. The home appears to have been completed by 1911.

After the home's completion, the home was sold to Elinor Milgate (maiden name Dyke) who owned the property for investment purposes. The home was tenanted during her ownership. By 1918, Reverend Cornelius Dyke and his family moved into the home. Reverend Dyke was a Primitive Methodist minister. Revered Dyke passed away in 1924, but his daughter, Lillie Dyke, would continue to live in the home until her death in 1976.

After 1976, the home was sold to Alan R. Trimble & Katherine Lunn who lived in the home until 1987.

Financial Implications

There are no financial implications.

Communications Considerations

No Communication Required.

Link to Strategic Plan

The conservation of heritage resources supports the Strategic Plan goal of Supporting an Exceptional Quality of Life for All through its accomplishment in satisfying requirements in objective Celebrating and Promoting our Culture.

Alternatives to the Recommendation

None.

Conclusions

The home was constructed by Fred Browning, however Mr. Browning never lived in 101 Temperance. The first owner of the completed home was Mrs. Milgate, however she never lived in 101 Temperance. The first significant owner was the Dyke family who lived in the home between 1918 and 1976. Therefore, after consideration of the Town's guidelines for plaque wording incorporating the name of the most significant owner, the following wording is recommended:

November 13, 2017

- 3 -

Report No. HAC17-026

THE CORNELIUS DYKE HOUSE

Minister

Built 1911

HERITAGE ADVISORY COMMITTEE - TOWN OF AURORA

Attachments

Attachment #1 – Location Map

Attachment #2 – Property Pages, 101 Temperance Street

Attachment #3 – Aurora District and Historical Society, 101 Temperance Street,
Prepared by Jaqueline Stewart, dated January 1991

Previous Reports

None

Pre-submission Review

Agenda Management Team Meeting review on November 1, 2017.

Departmental Approval



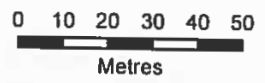
**Marco Ramunno
Director, Planning and Building Services**



LOCATION PLAN

HAC17-026
101 TEMPERANCE STREET
ATTACHMENT 1


 **SUBJECT LANDS**



Map created by the Town of Aurora Planning and Building Department, October 23, 2017. Base Data Provided by York Region.

Attachment 2

**AURORA REGISTER OF PROPERTIES OF CULTURAL
HERITAGE VALUE OR INTEREST (Updated 2017)**

SITE	<p>Address: 101 Temperance Street Former Address: Legal Description: PLAN: 246 LOT: 49</p>
STATUS	<p>Current Use: Residence Original use: Residence Heritage Status: Listed By-law No. & Date: Official Plan: Stable Residential Zoning: R7 (Special mixed density) HCD: Plaques:</p>
PHOTOGRAPH	
KEY MAP	<p></p>

**AURORA REGISTER OF PROPERTIES OF CULTURAL
 HERITAGE VALUE OR INTEREST (Updated 2017)**

ARCHITECTURE

GENERAL INFORMATION:

Address:	101 Temperance Street	Builder:	Fred Browning
Construction Date:	C1886	Architect:	
Architectural Style:	Worker's House Picturesque Style	Original Owner:	Elinor Milgate (nee Dyke)
Heritage Easement:		Historical Name:	

GENERAL DESCRIPTION:

Floor Plan:		Storey:	1 ½
Foundation Materials:			
Exterior Wall Materials:			
Roof Type:	Gable front	Windows:	
Entrance:	2 entrances	Bays:	

UNIQUE FEATURES:

Chimney (s):		Special Windows:	
Dormers:		Porch/Verandah:	Verandah partially enclosed (wraps corner)
Roof Trim:		Door Trim:	
Window Trim:		Other:	



Aurora and District Historical Society

23 January 1991

Mrs. Shayuk,
101 Temperance Street,
Aurora,
Ontario L4G 2R1

Dear Mrs. Shayuk:

I did warn you it might be some time before I could do the necessary research on your property! Not all the material was available here in the museum.

A preliminary complication: the legal description of the property, Lot 49 of Plan 246, did not come into effect until the 1930s, when a "tidy-up" plan was made of all those properties in town which were not already covered by registered plans of subdivision. In searching documents before that time, the absence of a specific lot number can lead to uncertainties.

We have several pieces of good evidence, however, that your house was built in 1910 or 1911. The land ownership records (notes are enclosed) show that the property was sold by George T. Browning to his son Fred Browning for \$600, and the assumption of the mortgage, in 1904. It is unlikely that such a sizeable piece of land *and* a good house could have been purchased for that sum in central Aurora at that time.

Secondly, we know who moved into the house in 1918 (more about that later). Working backward from there in the assessment rolls — always having to work without a lot number — we come to a point where a house with the same frontage and value as yours was owned by a Mrs. Milgate. She apparently did not live there herself, but rented the property to others. Mrs. Milgate first appears in 1912, and we know from the land ownership records that she did indeed own *your* property. In 1911 a vacant, unfinished house on Temperance, owned by Fred Browning, is listed.

Finally, there exists a fire insurance plan showing outlines of all buildings in the centre of town, with information as to their use, their materials of construction, and their height. The plan was drawn up in 1904, and up-dated in 1913. The 1913 revision was achieved simply by pasting bits of paper over the existing plan, where necessary. The house at what is now 101 Temperance is on one of those bits of paper: there is nothing underneath. The house was there in 1913, but not in 1904.

So, George T. Browning purchased a one-acre property from James Aylward in 1886. Mr. Browning, a builder, erected that red-painted brick double house on Yonge Street on the Yonge Street end of the lot. In 1904 he sold the Temperance Street end to his son Fred, also a builder, but it was not until 1910 (probably) that Fred began the

101 Temperance

2

construction of what came to be your house. When it was finished in 1911 he sold it to Mrs. Milgate, who purchased it as an investment.

Forward to 1918. In that year the Reverend Cornelius Dyke and his wife Ann and their adult daughter, Lillie, moved into the house [*Aurora Banner*, 4 October 1918]. Strangely, the land ownership records do not show that transaction, but instrument 6632, a grant from Fred Browning to Lillie Dyke in 1925, may have cleared that up; I did not have time to look at the full document at the land registry office. The occupancy beginning in 1918 was not the family's first connection with the house: one of the Dykes' sons-in-law, Lorne Miller, a teamster, had been a tenant of Mrs. Milgate.

Mr. Dyke died in 1924, aged 83, and his wife in 1932. Lillie lived in the Temperance Street house until her death in 1976 [*Banner*, 16 June 1976]. According to the 1964 assessment roll, Miss Dyke was born in 1884, so she lived to a good age. I had hoped that the local paper might have a photograph and some information about her on her 90th birthday, but I found nothing.

I hope that you will find this information of interest.

Yours truly,



Jacqueline Stuart
Curator, Aurora Museum

Extracts from Abstract Index for Lot 49, Plan 246, Aurora: 101 Temperance Street

<u>Instrument No</u>	<u>Inst.</u>	<u>Inst. Date</u>	<u>Reg'n Date</u>	<u>Grantor</u>	<u>Grantee</u>	<u>Cons'n (\$)</u>	<u>Notes</u>
	Patent	7 June 1803		Crown	William Kennedy		210 acres: all of township lot 79
14873	Will	29 July 1829	3 Mar 1838	Wm Kennedy sr			
51439	B&S	8 Apr 1848	25 Oct 1853	Wm Kennedy jr	Eliza Hunt	200.00	1 acre, NE corner
1488	Will	13 Oct 1882	31 July 1873	Emma J. Aylward	James H. Aylward		"
1795	B&S	21 Apr 1886	3 May 1886	J.H. Aylward	George T. Browning	1300.00	"
3385	B&S	24 Nov 1904		G.T. Browning	Frederick Browning	assumption of mortgage + 600.00	3/8 acre, NE part
4119	B&S	5 Aug 1911	8 Aug 1911	F. Browning	Ellanor Milgate	1600.00	part of NE part
5436	B&S	Oct 1918	5 Nov 1918	Cornelius Dyke et ux & Lillie Dyke	Lillie Dyke	premises + 1.00	part of NE part east of Temperance
6632	Grant	17 Jan 1925	30 Jan 1925	F. Browning	Lillie Dyke	1.00	NE part and right of way
7871	Mort	5 June 1935	11 June 1935	Lillie Dyke	Alward G. Lindsay	600.00	all lot 49 and right of way
8458	Disch	21 Aug 1940	4 Sept 1940	A.G. Lindsay	Lillie Dyke		see 7871
198127	Admin'r's Deed	5 Oct 1976	1 Nov 1976	Cornelius A. Dyke, Adm'r. of Lillie Dyke	Alan R. Trimble & Katherine M. Lunn	v.c. + 2.00	all + right of way over W 12' of lot 52
47951	Grant		26 June 1987	A.R. Trimble & K.M. Lunn	Kenneth L. Corbierre Theresa A. Corbierre		"
81391	Transfer		6 Sept 1990 (or 9 June 1990: not properly recorded]	K.L. Corbierre & T.A. Corbierre	Lea Shayuk	177,000.00	"

see notes next page

January 1991

Ass't Mort: Assignment of mortgage
B&S: Bargain and Sale: normal sale transaction
Cons'n: Consideration: usually the price paid
Et al.: *et alia* and others
Grant: transfer of ownership, usually normal sale transaction
Mort: mortgage
L&A: Love and affection: transaction within family
Patent: deed awarded by Crown
Vc.: value of consideration: the price paid, which has not been revealed

21 February 1991

Mrs. Shayuk,
101 Temperance Street,
Aurora,
Ontario L4G 2R1

Dear Mrs. Shayuk:

Just a brief further note about the ownership of your property.

In my letter of 23 January it was noted that Eleanor Milgate owned the property from 1911 until 1918. I have just found out that Mrs. Milgate's maiden name was Dyke: she was a daughter of the Dyke family which owned the house until 1976. For "downtown" Aurora this is an unusually long run of one-family ownership.

Sincerely,



Jacqueline Stuart
Curator, Aurora Museum



**Extract from
Council Meeting of
Tuesday, October 24, 2017**

5. Consent Agenda

**Moved by Councillor Thom
Seconded by Councillor Thompson**

That the following Consent Agenda items—C1 (with the exception of sub-items R1 and R2), and C5—be approved:

(C2) Heritage Advisory Committee Meeting Minutes of September 11, 2017

1. That the Heritage Advisory Committee meeting minutes of September 11, 2017, be received for information.

(R5) Summary of Committee Recommendations Report No. 2017-09

1. That Summary of Committee Recommendations Report No. 2017-09 be received; and
2. That the Committee recommendations contained within this report be approved.

Carried

Summary of Committee Recommendations Report No. 2017-09:

Heritage Advisory Committee Meeting Minutes of September 11, 2017

1. HAC17-019 – Heritage Conservation District Designation Process

- (a) That staff provide an information report regarding listed, designated, and potentially historic properties on Yonge Street between Wellington Street and Kennedy Street.