



**Accessibility  
Advisory Committee  
Meeting Agenda**

**Wednesday, February 12, 2020  
7 p.m.**

**Holland Room  
Aurora Town Hall**

Public Release  
February 5, 2020



## **Town of Aurora Accessibility Advisory Committee Meeting Agenda**

**Date:** Wednesday, February 12, 2020

**Time and Location:** 7 p.m., Holland Room, Aurora Town Hall

---

- 1. Approval of the Agenda**
- 2. Declarations of Pecuniary Interest and General Nature Thereof**
- 3. Receipt of the Minutes**

**Accessibility Advisory Committee Meeting Minutes of November 13, 2019**

**Recommended:**

That the Accessibility Advisory Committee meeting minutes of November 13, 2019, be received for information.

- 4. Delegations**
- 5. Matters for Consideration**
  - 1. Memorandum from Planner**

**Re: Application for Site Plan Amendment (2<sup>nd</sup> Submission)**  
**Aurora United Church**  
**15186 Yonge Street, 55 & 57 Temperance Street, 12 & 16 Tyler Street**  
**File Number: SP-2018-02**  
**Related Files: OPA-2016-05 & ZBA-2016-13 (Approved)**  
(Full-size drawings will be available at the meeting.)

**Recommended:**

1. That the memorandum regarding Application for Application for Site Plan Amendment (2<sup>nd</sup> Submission), Aurora United Church, 15186 Yonge Street, 55 & 57 Temperance Street, 12 & 16 Tyler Street, File number: SP-2018-02, Related Files: OPA-2016-05 and ZBA-2016-13, be received; and
2. That the Accessibility Advisory Committee provide comment regarding the Site Plan Amendment.

**2. Memorandum from Planner**

**Re: Application for Site Plan Approval (1<sup>st</sup> Submission)  
125 Englehard Drive  
Luxury Railings Ltd.  
Plan 10328 Lot 45 Pt It 46 RP 65R8036 Part 2  
File Number: SP-2019-11**

(Full-size drawings will be available at the meeting.)

**Recommended:**

1. That the memorandum regarding Application for Site Plan Approval (1<sup>st</sup> Submission), 125 Englehard Drive, Luxury Railings Ltd., Plan 10328 Lot 45 Pt It 46 RP 65R8036 Part 2, File Number: SP-2019-11, be received; and
2. That the Accessibility Advisory Committee provide comment regarding the Site Plan Approval.

**3. Memorandum from Planner**

**Re: Application for Official Plan Amendment, Zoning By-law  
Amendment, and Draft Plan of Subdivision (3<sup>rd</sup> Submission)  
306, 370, 434 & 488 St. John's Sideroad West  
File Numbers: OPA-2018-01, ZBA-2018-02 and SUB-2018-02**

(Full-size drawings will be available at the meeting.)

**Recommended:**

1. That the memorandum regarding Application for Official Plan Amendment, Zoning By-law Amendment, and Draft Plan of Subdivision (3<sup>rd</sup> Submission), 306, 370, 434 & 488 St. John's Sideroad West, File

Numbers: OPA-2018-01, ZBA-2018-02 and SUB-2018-02 be received;  
and

2. That the Accessibility Advisory Committee provide comment regarding the Official Plan Amendment, Zoning By-law Amendment, and Draft Plan of Subdivision.

**4. Memorandum from Accessibility Advisor  
Re: Special Events Sensory Room/Space**

**Recommended:**

1. That the memorandum regarding Special Events Sensory Room/Space be received; and
2. That the Accessibility Advisory Committee provide comments regarding the Special Events Sensory Room/Space.

**5. Round Table Discussion  
Re: Town of Aurora Accessibility Plan 2018 to 2024  
([Link to Accessibility Plan](#))**

**Recommended:**

1. That the comments and suggestions regarding the Town of Aurora Accessibility Plan 2018 to 2024 be received and referred to staff for consideration and action as appropriate.

**6. Informational Items**

**6. Memorandum from Accessibility Advisor  
Re: 2019 Accessibility Compliance Report**

**Recommended:**

1. That the memorandum regarding the 2019 Accessibility Compliance Report be received for information.

**7. Adjournment**





**Town of Aurora  
Accessibility Advisory Committee  
Meeting Minutes**

**Date:** Wednesday, November 13, 2019  
**Time and Location:** 7 p.m., Holland Room, Aurora Town Hall  
**Committee Members:** John Lenchak (Chair), Hailey Reiss (Vice Chair), Matthew Abas, Max Le Moine, Jo-anne Spitzer, Councillor Rachel Gilliland  
**Members Absent:** None  
**Other Attendees:** Mat Zawada, Accessibility Advisor, Linda Bottos, Council/Committee Coordinator

---

The Chair called the meeting to order at 7:01 p.m.

**1. Approval of the Agenda**

**Moved by Jo-anne Spitzer  
Seconded by Matthew Abas**

That the agenda as circulated by Legislative Services, with the following additional item, be approved:

- Item 7 – Election of Chair and Vice Chair for Year 2020 of the Accessibility Advisory Committee (2018-2022 Term)

**Carried**

**2. Declarations of Pecuniary Interest and General Nature Thereof**

There were no declarations of pecuniary interest under the *Municipal Conflict of Interest Act, R.S.O. 1990, c. M.50.*

**3. Receipt of the Minutes**

Accessibility Advisory Committee Meeting Minutes  
Wednesday, November 13, 2019

Page 2 of 6

---

**Accessibility Advisory Committee Meeting Minutes of October 2, 2019**

**Moved by Hailey Reiss**

**Seconded by Matthew Abas**

That the Accessibility Advisory Committee meeting minutes of October 2, 2019, be received for information.

**Carried**

**4. Delegations**

None

**5. Matters for Consideration**

**1. Memorandum from Planner**

**Re: Site Plan Application, Regional Municipality of York, 242 St. John's Sideroad East, Aurora, Con 1 Pt Lot 86 RS65R2500 Part of Part 1 EXP 288904 Part 1, File Number: SP-2019-06**

Staff provided an overview of the application noting that there would be no public access to the building. The Committee reviewed the site plan and discussed the accessibility standards to be considered as part of the application.

**Moved by Max Le Moine**

**Seconded by Matthew Abas**

1. That the memorandum regarding Site Plan Application, Regional Municipality of York, 242 St. John's Sideroad East, Aurora, Con 1 Pt Lot 86 RS65R2500 Part of Part 1 EXP 288904 Part 1, File Number: SP-2019-06 be received; and
2. That the following Accessibility Advisory Committee comments regarding the Site Plan Application be considered by staff:
  - (a) Request for automatic door openers at the main entrance of the building; and

Accessibility Advisory Committee Meeting Minutes  
Wednesday, November 13, 2019

Page 3 of 6

---

- (b) Request for tactile walking surface indicators at the top of the interior staircase of the building.

**Carried**

**2. Memorandum from Planner**

**Re: Site Plan Application (1st Submission), New Industrial Building w/Office Space, 320 Industrial Parkway South, Lot 25, Plan M-2012, File Number: SP-2019-07**

Staff gave an overview of the application noting that interior drawings were not yet available. The Committee reviewed the site plan and discussed the accessibility standards to be considered as part of the application.

**Moved by Councillor Gilliland  
Seconded by Max Le Moine**

1. That the memorandum regarding Site Plan Application (1st Submission), New Industrial Building w/Office Space, 320 Industrial Parkway South, Lot 25, Plan M-2012, File Number: SP-2019-07 be received; and
2. That the following Accessibility Advisory Committee comments regarding the Site Plan Application (1<sup>st</sup> Submission) be considered by staff:
  - (a) Request for an extra curb depression at the walkway on the east elevation of the proposed building; and
  - (b) Request for an outdoor rest area with adaptable seating at the main entrance of the proposed building; and
  - (c) Request for automatic door openers at all public access entry points of the proposed building.

**Carried**

**3. Memorandum from Senior Planner**

**Re: Site Plan Amendment Application (1st Submission), 16015 Bayview Avenue, Part 1, Plan 65R-32530, File Number: SP-2019-08**

Accessibility Advisory Committee Meeting Minutes  
Wednesday, November 13, 2019

Page 4 of 6

Staff provided an overview of the application, and the Committee reviewed the site plan amendment and discussed the accessibility standards to be considered as part of the application.

**Moved by Hailey Reiss**

**Seconded by Rachel Weiss**

1. That the memorandum regarding Site Plan Amendment Application (1st Submission), 16015 Bayview Avenue, Part 1, Plan 65R-32530, File Number: SP-2019-08, be received; and
2. That the following Accessibility Advisory Committee comments regarding the Site Plan Amendment Application (1<sup>st</sup> Submission) be considered by staff:
  - (a) Request for the addition of a corresponding curb depression associated with the access aisle on the east elevation of Building B; and
  - (b) Request to consider extending the exterior accessible path of travel at the south end of Building B, if the grading would allow, westward to the sidewalk on Bayview Avenue.

**Carried**

#### **4. Memorandum from Accessibility Advisor**

##### **Re: Accessibility Review Checklist – Site Plan**

Staff gave a summary of the memorandum and provided a draft AAC Site Plan Review checklist for review. The Committee and staff discussed various aspects to be considered and added to the checklist including universal washrooms, design requirements of accessibility signage, recommended surface materials for exterior paths of travel, sensory room criteria, and snow clearing. The Committee suggested making the checklist available as a resource for local businesses. Staff agreed to follow up regarding the design of accessibility signage and possible by-law provisions regarding snow clearing and placement.

Accessibility Advisory Committee Meeting Minutes  
Wednesday, November 13, 2019

Page 5 of 6

---

**Moved by Max Le Moine**

**Seconded by Matthew Abas**

1. That the memorandum regarding Accessibility Review Checklist – Site Plan be received; and
2. That the Accessibility Advisory Committee comments and suggestions regarding the Accessibility Review Checklist – Site Plan be received and referred to staff for consideration and action as appropriate.

**Carried**

**5. Memorandum from Accessibility Advisor**

**Re: Special Events Sensory Room/Space**

Staff gave an overview of the memorandum noting that Aurora is the first municipality to offer a sensory room/space at special events. The Committee and staff discussed various potential contacts and community organizations that may wish to be involved and/or provide assistance regarding the provision of a sensory room. The Committee made further suggestions regarding options and resources for equipment and activities to be included, and inquired about the possibility of seeking donations for a sensory room.

**Moved by Hailey Reiss**

**Seconded by Matthew Abas**

1. That the memorandum regarding Special Events Sensory Room/Space be received; and
2. That the Accessibility Advisory Committee comments and suggestions regarding the Special Events Sensory Room/Space be received and referred to staff for consideration and action as appropriate.

**Carried**

**6. Round Table Discussion**

**Re: Town of Aurora Accessibility Plan 2018 to 2024**

The Committee requested an update and staff provided a brief overview of items recently completed and those items in progress. The Committee inquired about whether crosswalks may be included in the Accessibility Plan as a

Accessibility Advisory Committee Meeting Minutes  
Wednesday, November 13, 2019

---

Page 6 of 6

recommended accessibility item, and specifically referred to the need for a crosswalk on Earl Stewart Drive at the sharp curve located between McMaster Avenue and Pedersen Drive.

**Moved by Jo-anne Spitzer**

**Seconded by Matthew Abas**

1. That the comments and suggestions regarding the Town of Aurora Accessibility Plan 2018 to 2024 be received and referred to staff for consideration and action as appropriate.

**Carried**

**7. Election of Chair and Vice Chair for Year 2020 of the Accessibility Advisory Committee (2018-2022 Term)**

**Moved by Jo-anne Spitzer**

**Seconded by Matthew Abas**

That John Lenchak be re-elected as Chair for Year 2020 of the Accessibility Advisory Committee (2018-2022 Term).

**Carried**

**Moved by John Lenchak**

**Seconded by Matthew Abas**

That Hailey Reiss be re-elected as Vice Chair for Year 2020 of the Accessibility Advisory Committee (2018-2022 Term).

**Carried**

**6. Informational Items**

None

**7. Adjournment**

**Moved by Hailey Reiss**

**Seconded by Jo-anne Spitzer**

That the meeting be adjourned at 8:18 p.m.

**Carried**



100 John West Way  
Box 1000  
Aurora, ON L4G 6J1  
**Phone:** 905-727-3123 Ext. 4349  
**Email:** ctsang@aurora.ca  
**www.aurora.ca**

**Planning and Development Services**

## **INTERNAL MEMORANDUM**

**DATE:** January 10, 2020

**TO:** B. Butler, Planning and Development Services  
M. Bat, Engineering and Capital Delivery  
Heritage Planning  
S. Sample, Building Division  
B. Jakovina, Operational Services  
J. McDonald, Central York Fire Services  
M. Zawada, Accessibility Advisor

**FROM:** Carlson Tsang, Planning and Development Services

**Re:** **Application for Site Plan Amendment**  
**Aurora United Church**  
**15186 Yonge Street, 55 & 57 Temperance Street, 12 & 16 Tyler Street**  
**File Number: SP-2018-02**  
**Related Files: OPA-2016-05 & ZBA-2016-13 (Approved)**  
**2<sup>nd</sup> Submission**

---

A 2<sup>nd</sup> submission has been made to the Planning and Development Services for the above noted site plan application to permit the construction of a new place of worship and 6 storey retirement home on the subject lands. Please find materials and documents submitted in support of the application.

I would appreciate receiving your comments by **February 21<sup>st</sup>, 2020**. If I have not received your comments by the specified deadline, I will assume you have no comments or concerns on the proposed development. Should you have any questions, please contact me at extension 4349.

Regards,

A handwritten signature in blue ink, appearing to read "Carlson Tsang".

Carlson Tsang  
Planner  
Town of Aurora  
Planning and Development Services

**COPYRIGHT RESERVED**  
 This plan and design are all of all items within the residence...  
 and no part of this publication may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the copyright owner.

**ISSUES & REVISIONS**

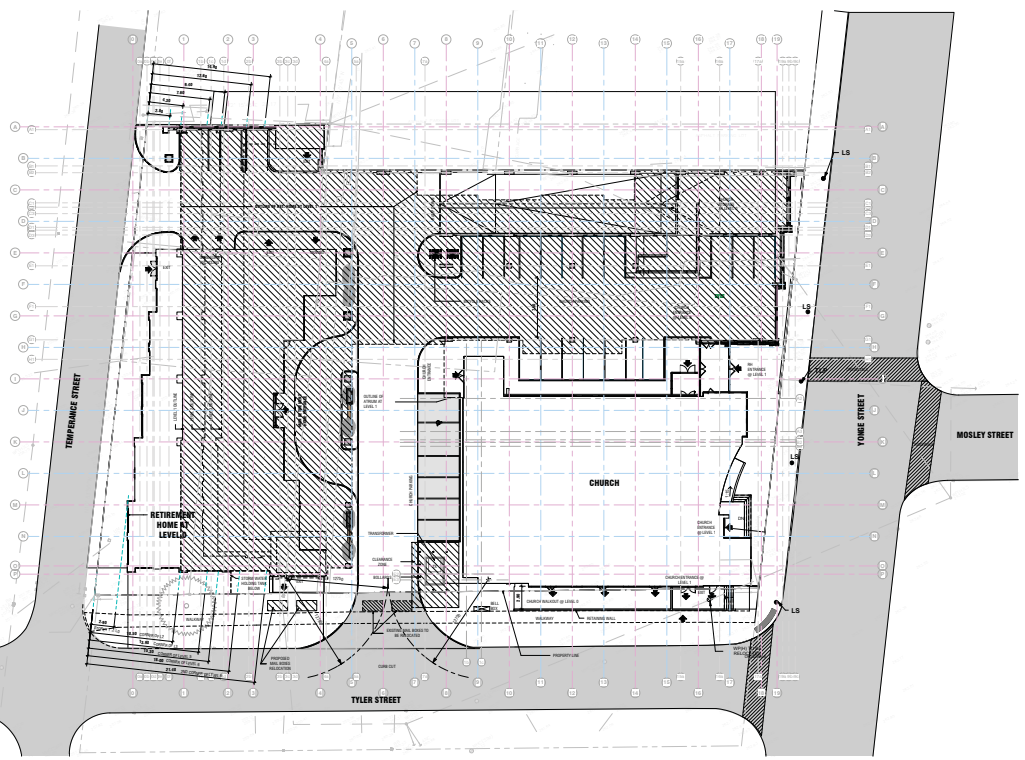
| No. | DATE | ISSUE | REVISION |
|-----|------|-------|----------|
|     |      |       |          |

**SITE STATISTICS**

| ITEM AREA                 | SP | SR | CONCRETE |
|---------------------------|----|----|----------|
|                           |    |    |          |
| <b>PROPOSED PARKING</b>   |    |    |          |
|                           |    |    |          |
| <b>PROPOSED DRIVEWAYS</b> |    |    |          |
|                           |    |    |          |
| <b>PROPOSED SIDEWALKS</b> |    |    |          |
|                           |    |    |          |

**LEGEND**

- SB DENOTES BELLBOX
- SOLL DENOTES BOLLARD
- CB DENOTES CATCH BASIN
- CCUT DENOTES CURB CUT
- CLF DENOTES CHAIN LINK FENCE
- CPAD DENOTES CONCRETE PAD
- CSW DENOTES CONCRETE SIDE WALK
- DCB DENOTES DOUBLE CATCH BASIN
- EP DENOTES EDGE OF PAVEMENT
- FH DENOTES FIRE HYDRANT
- LS DENOTES LIGHT STANDARD
- SP DENOTES SIGN POST
- TLP DENOTES TRAFFIC LIGHT POLE
- TOS DENOTES TOP OF SLOPE
- UP DENOTES UTILITY POLE



1 SITE PLAN WK  
 1:200

**SP/DRYDR**

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
|     |             |      |

**SITE COUNT SUMMARY**

| OCCUPANCY | LEVEL | AREA (SQ. METERS) | UNIT TYPE | COUNT | SR |
|-----------|-------|-------------------|-----------|-------|----|
|           |       |                   |           |       |    |

**architect**  
 100-2258 Yonge Street East  
 Toronto, Ontario M4E 1G3



AMICA Senior Lifestyles

**AMICA AT AURORA  
 RETIREMENT RESIDENCE**  
 15186 Yonge Street  
 Aurora, ON

**SITE PLAN**

| DATE       | DESCRIPTION | BY | CHECKED |
|------------|-------------|----|---------|
| 2019 11 29 |             |    |         |

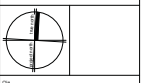
Scale: As Indicated  
 Drawing: A1-01



**COPYRIGHT RESERVED**  
 This paper and design are the property of the architect and shall remain the property of the architect and shall not be used for any other purpose without the written consent of the architect. The architect shall not be held responsible for any consequences that may arise from the use of the information contained herein for any purpose other than that for which it was intended.

| ISSUES & REVISIONS |             |           |         |
|--------------------|-------------|-----------|---------|
| No.                | Description | By        | Date    |
| 1                  | REVISION    | ARCHITECT | 1/15/20 |
| 2                  | REVISION    | ARCHITECT | 1/15/20 |
| 3                  | REVISION    | ARCHITECT | 1/15/20 |
| 4                  | REVISION    | ARCHITECT | 1/15/20 |
| 5                  | REVISION    | ARCHITECT | 1/15/20 |
| 6                  | REVISION    | ARCHITECT | 1/15/20 |
| 7                  | REVISION    | ARCHITECT | 1/15/20 |
| 8                  | REVISION    | ARCHITECT | 1/15/20 |

**architect**  
 a robert munday  
 architect  
 P.L.L.C.  
 1100-2255B YONGE STREET EAST  
 AURORA, ONTARIO M4E 1G3

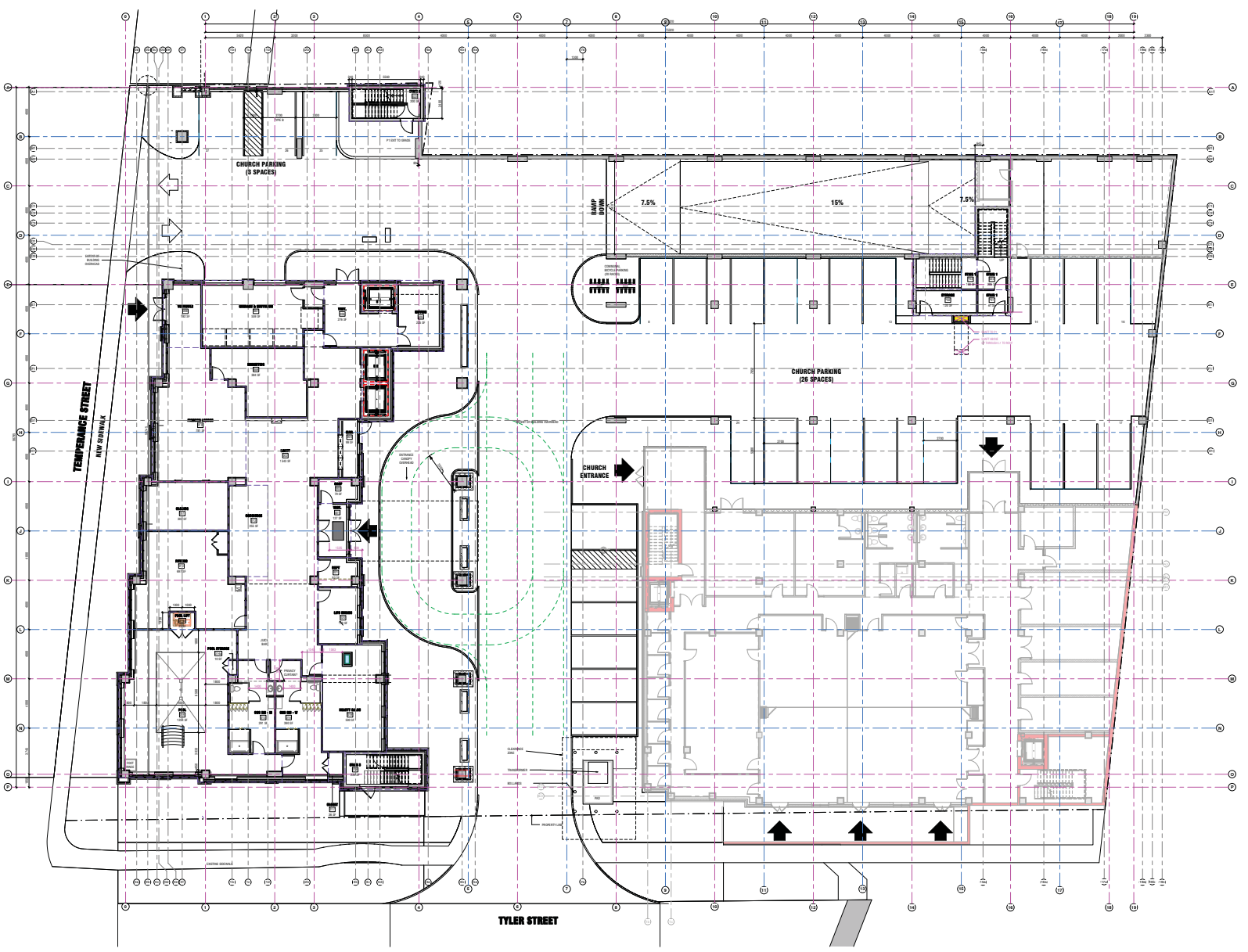


For: Amica Senior Lifestyles

Project: AMICA AT AURORA RETIREMENT RESIDENCE  
 15196 Yonge Street  
 Aurora, ON

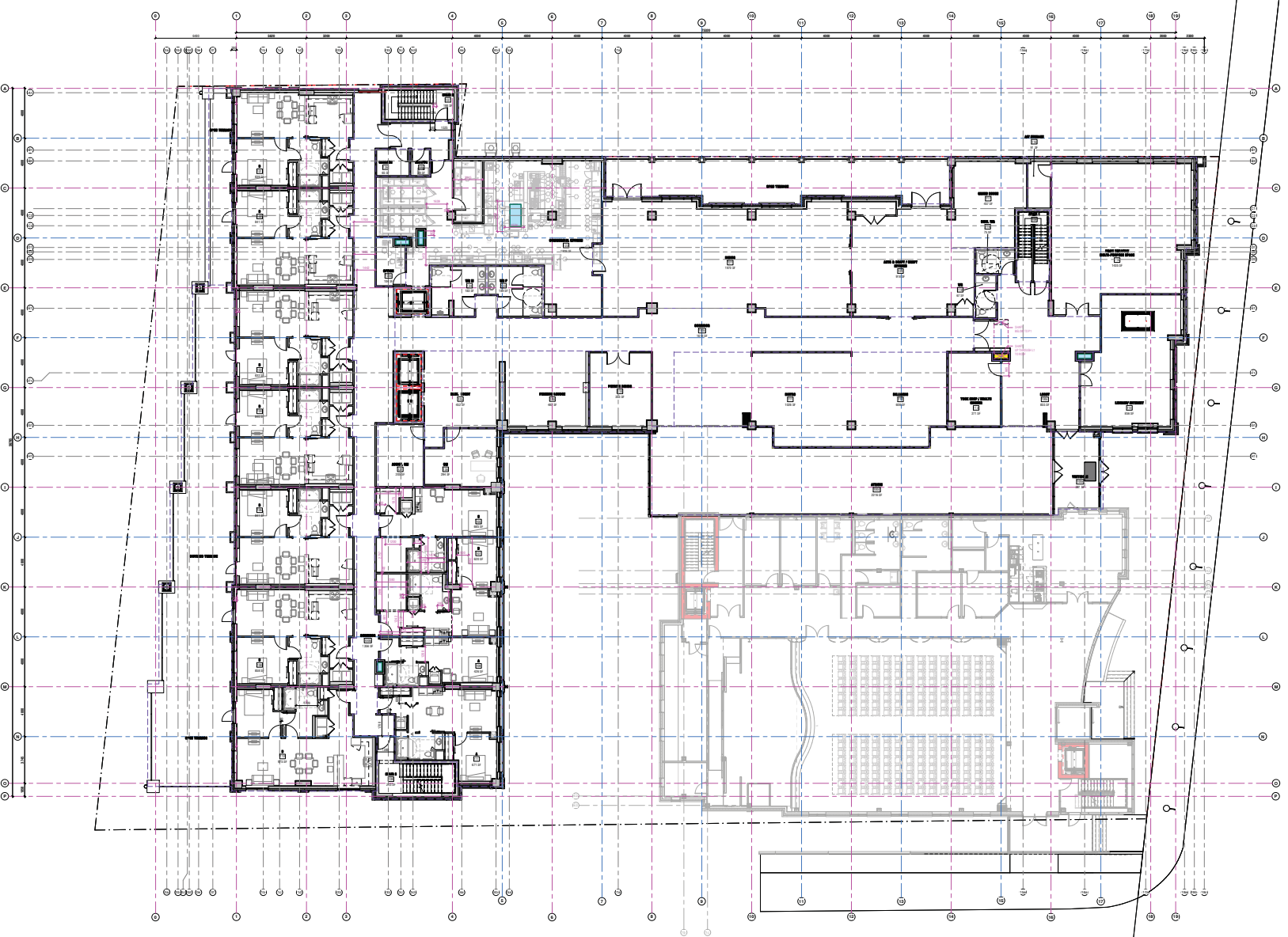
Drawing: LEVEL 0 FLOOR PLAN

|        |            |          |                   |
|--------|------------|----------|-------------------|
| Date:  | 2019 11 29 | Project: | 2018 Aurora Yonge |
| Scale: | 1:100      | Client:  | Amica             |
| Drawn: | ML         | Checked: | PM                |
| Plot:  |            | Sheet:   | A2-00             |



**COPYRIGHT RESERVED**  
 This plan and design are all of all-kind subject the exclusive ownership of the architect and shall be used for the purposes and in the manner intended by the architect and shall not be reproduced, copied, or otherwise used in any manner without the written consent of the architect. The architect shall not be held liable for any damages, loss or injury to any person or property arising from the use of this plan.

| ISSUES & REVISIONS |             |    |          |
|--------------------|-------------|----|----------|
| No.                | Description | By | Date     |
| 01                 | ISSUE       | MM | 11/19/19 |
| 02                 | REVISION    | MM | 11/19/19 |
| 03                 | REVISION    | MM | 11/19/19 |
| 04                 | REVISION    | MM | 11/19/19 |
| 05                 | REVISION    | MM | 11/19/19 |
| 06                 | REVISION    | MM | 11/19/19 |
| 07                 | REVISION    | MM | 11/19/19 |
| 08                 | REVISION    | MM | 11/19/19 |
| 09                 | REVISION    | MM | 11/19/19 |
| 10                 | REVISION    | MM | 11/19/19 |
| 11                 | REVISION    | MM | 11/19/19 |
| 12                 | REVISION    | MM | 11/19/19 |
| 13                 | REVISION    | MM | 11/19/19 |
| 14                 | REVISION    | MM | 11/19/19 |
| 15                 | REVISION    | MM | 11/19/19 |
| 16                 | REVISION    | MM | 11/19/19 |
| 17                 | REVISION    | MM | 11/19/19 |
| 18                 | REVISION    | MM | 11/19/19 |
| 19                 | REVISION    | MM | 11/19/19 |
| 20                 | REVISION    | MM | 11/19/19 |
| 21                 | REVISION    | MM | 11/19/19 |
| 22                 | REVISION    | MM | 11/19/19 |
| 23                 | REVISION    | MM | 11/19/19 |
| 24                 | REVISION    | MM | 11/19/19 |
| 25                 | REVISION    | MM | 11/19/19 |
| 26                 | REVISION    | MM | 11/19/19 |
| 27                 | REVISION    | MM | 11/19/19 |
| 28                 | REVISION    | MM | 11/19/19 |
| 29                 | REVISION    | MM | 11/19/19 |
| 30                 | REVISION    | MM | 11/19/19 |
| 31                 | REVISION    | MM | 11/19/19 |
| 32                 | REVISION    | MM | 11/19/19 |
| 33                 | REVISION    | MM | 11/19/19 |
| 34                 | REVISION    | MM | 11/19/19 |
| 35                 | REVISION    | MM | 11/19/19 |
| 36                 | REVISION    | MM | 11/19/19 |
| 37                 | REVISION    | MM | 11/19/19 |
| 38                 | REVISION    | MM | 11/19/19 |
| 39                 | REVISION    | MM | 11/19/19 |
| 40                 | REVISION    | MM | 11/19/19 |
| 41                 | REVISION    | MM | 11/19/19 |
| 42                 | REVISION    | MM | 11/19/19 |
| 43                 | REVISION    | MM | 11/19/19 |
| 44                 | REVISION    | MM | 11/19/19 |
| 45                 | REVISION    | MM | 11/19/19 |
| 46                 | REVISION    | MM | 11/19/19 |
| 47                 | REVISION    | MM | 11/19/19 |
| 48                 | REVISION    | MM | 11/19/19 |
| 49                 | REVISION    | MM | 11/19/19 |
| 50                 | REVISION    | MM | 11/19/19 |
| 51                 | REVISION    | MM | 11/19/19 |
| 52                 | REVISION    | MM | 11/19/19 |
| 53                 | REVISION    | MM | 11/19/19 |
| 54                 | REVISION    | MM | 11/19/19 |
| 55                 | REVISION    | MM | 11/19/19 |
| 56                 | REVISION    | MM | 11/19/19 |
| 57                 | REVISION    | MM | 11/19/19 |
| 58                 | REVISION    | MM | 11/19/19 |
| 59                 | REVISION    | MM | 11/19/19 |
| 60                 | REVISION    | MM | 11/19/19 |
| 61                 | REVISION    | MM | 11/19/19 |
| 62                 | REVISION    | MM | 11/19/19 |
| 63                 | REVISION    | MM | 11/19/19 |
| 64                 | REVISION    | MM | 11/19/19 |
| 65                 | REVISION    | MM | 11/19/19 |
| 66                 | REVISION    | MM | 11/19/19 |
| 67                 | REVISION    | MM | 11/19/19 |
| 68                 | REVISION    | MM | 11/19/19 |
| 69                 | REVISION    | MM | 11/19/19 |
| 70                 | REVISION    | MM | 11/19/19 |
| 71                 | REVISION    | MM | 11/19/19 |
| 72                 | REVISION    | MM | 11/19/19 |
| 73                 | REVISION    | MM | 11/19/19 |
| 74                 | REVISION    | MM | 11/19/19 |
| 75                 | REVISION    | MM | 11/19/19 |
| 76                 | REVISION    | MM | 11/19/19 |
| 77                 | REVISION    | MM | 11/19/19 |
| 78                 | REVISION    | MM | 11/19/19 |
| 79                 | REVISION    | MM | 11/19/19 |
| 80                 | REVISION    | MM | 11/19/19 |
| 81                 | REVISION    | MM | 11/19/19 |
| 82                 | REVISION    | MM | 11/19/19 |
| 83                 | REVISION    | MM | 11/19/19 |
| 84                 | REVISION    | MM | 11/19/19 |
| 85                 | REVISION    | MM | 11/19/19 |
| 86                 | REVISION    | MM | 11/19/19 |
| 87                 | REVISION    | MM | 11/19/19 |
| 88                 | REVISION    | MM | 11/19/19 |
| 89                 | REVISION    | MM | 11/19/19 |
| 90                 | REVISION    | MM | 11/19/19 |
| 91                 | REVISION    | MM | 11/19/19 |
| 92                 | REVISION    | MM | 11/19/19 |
| 93                 | REVISION    | MM | 11/19/19 |
| 94                 | REVISION    | MM | 11/19/19 |
| 95                 | REVISION    | MM | 11/19/19 |
| 96                 | REVISION    | MM | 11/19/19 |
| 97                 | REVISION    | MM | 11/19/19 |
| 98                 | REVISION    | MM | 11/19/19 |
| 99                 | REVISION    | MM | 11/19/19 |
| 100                | REVISION    | MM | 11/19/19 |



**robertmurray**  
**architect**

1100-2258 JAMES STREET EAST  
 TORONTO, ONTARIO M4E 1G3



For  
 Amica Senior Lifeways

For  
**AMICA AT AURORA**  
**RETIREMENT RESIDENCE**  
 15186 Yonge Street  
 Aurora, ON

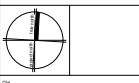
Showing  
**LEVEL 1 FLOOR PLAN**

|        |            |         |                   |
|--------|------------|---------|-------------------|
| Client | 2019 11 29 | Project | 2018 Aurora Yonge |
| Scale  | 1:100      | Drawing |                   |
| Author | ML         | Checked | MM                |
| Drawn  | ML         | PM      | <b>A2-01</b>      |

**COPYRIGHT RESERVED**  
 All rights reserved. No part of this publication may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage or retrieval system, without the prior written permission of the copyright owner.

| ISSUES & REVISIONS |             |    |            |
|--------------------|-------------|----|------------|
| No.                | Description | By | Date       |
| 01                 | ISSUE       | AM | 2019 11 29 |
| 02                 | REVISION    | AM | 2019 11 29 |
| 03                 | REVISION    | AM | 2019 11 29 |
| 04                 | REVISION    | AM | 2019 11 29 |
| 05                 | REVISION    | AM | 2019 11 29 |

**al.robert.murphy**  
**architect**  
 INCORPORATED  
 1100-2255B YONGE STREET EAST  
 AURORA, ONTARIO M4E 1G3

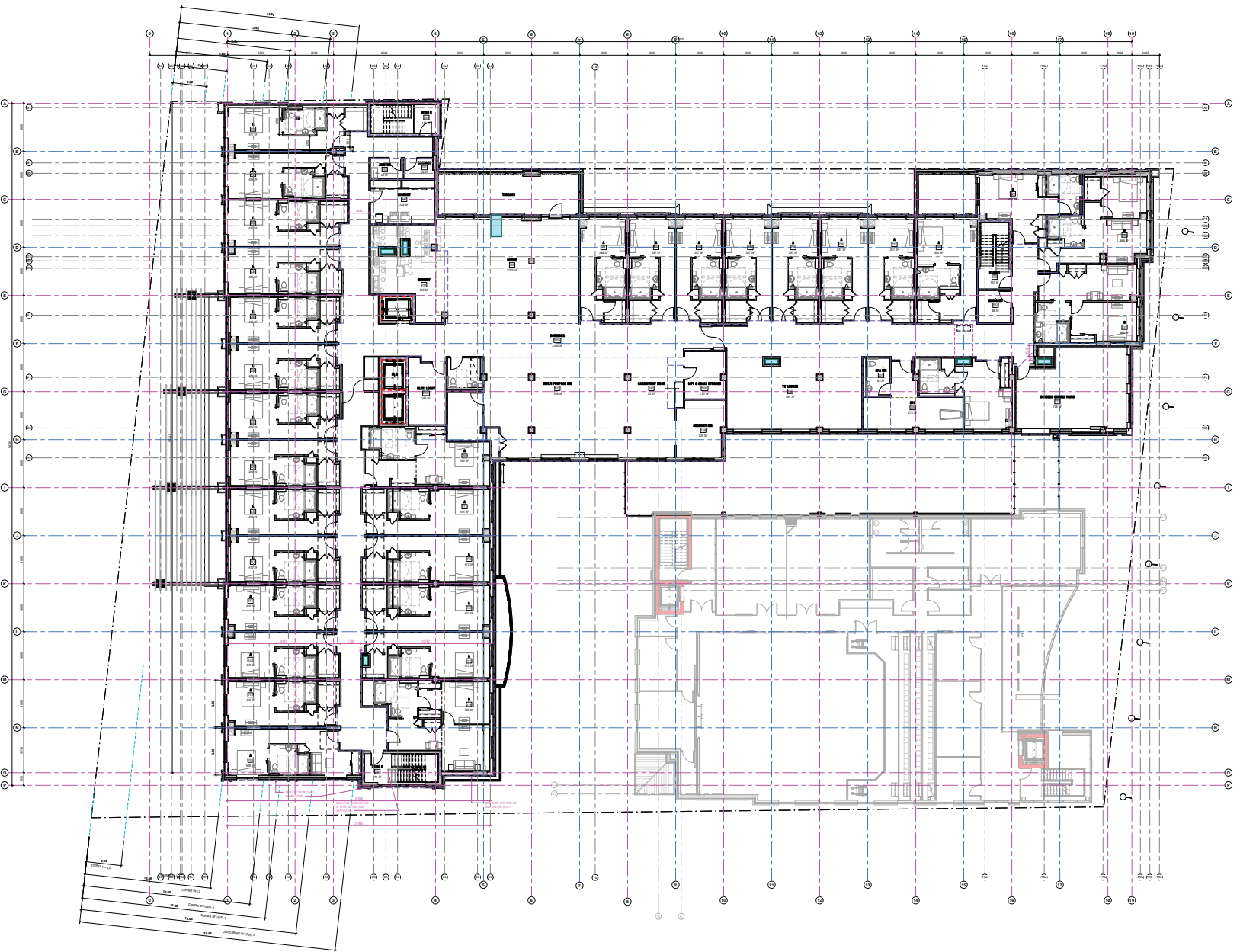


For  
 Amica Senior Lifestyles

For  
**AMICA AT AURORA**  
**RETIREMENT RESIDENCE**  
 15186 Yonge Street  
 Aurora, ON

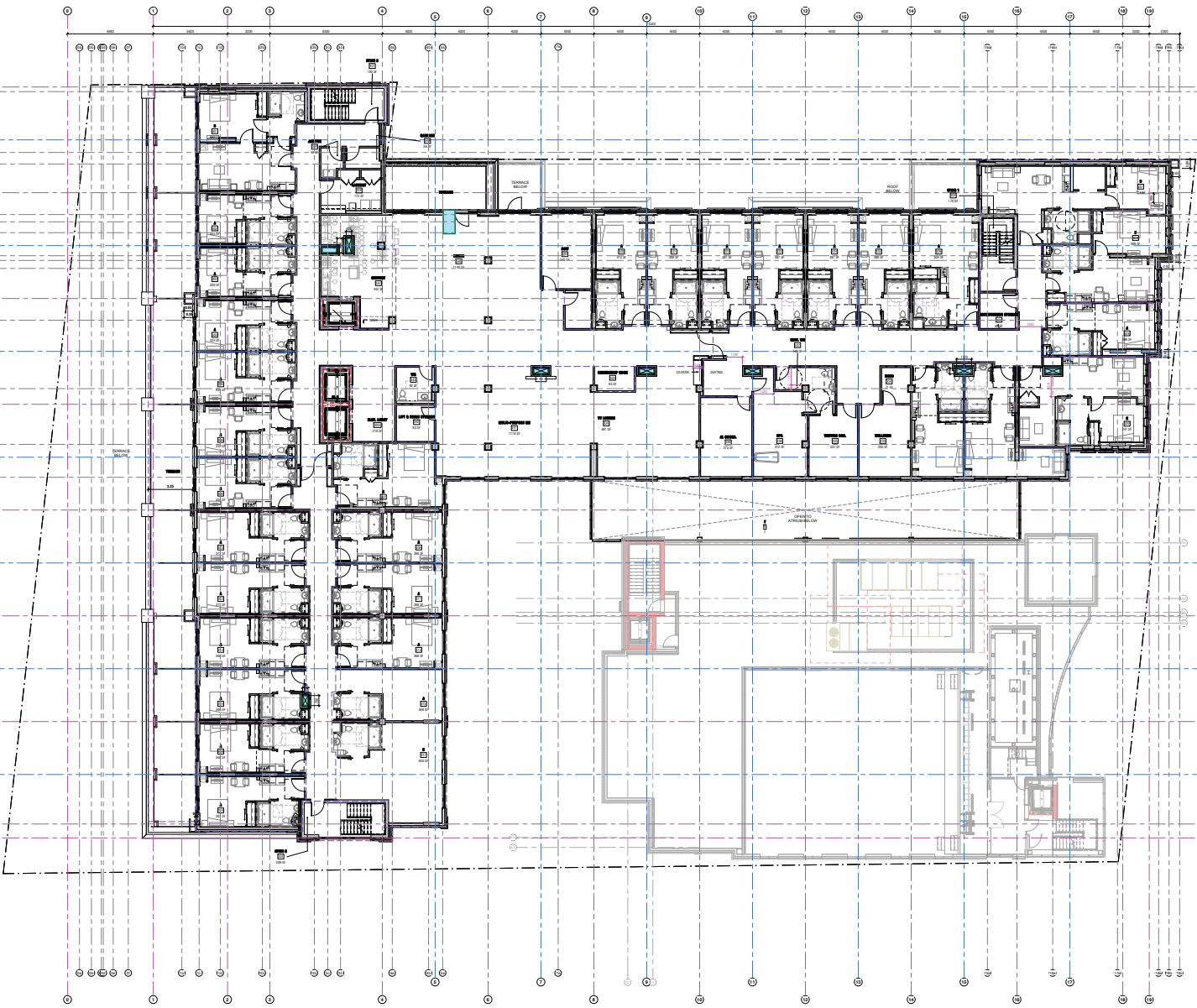
Showing  
**LEVEL 2 FLOOR PLAN**

|        |            |         |                   |
|--------|------------|---------|-------------------|
| Client | 2019 11 29 | Project | 2018 Aurora Yonge |
| Date   | 2019 11 29 | Sheet   | 2018 Aurora Yonge |
| Scale  | 1:100      | Drawing |                   |
| Author | ML         | Checked | PM                |
| Drawn  | ML         | PM      | <b>A2-02</b>      |

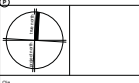


**COPYRIGHT RESERVED**  
 This plan and design are all of all laws unless the evidence shows otherwise. The contractor shall be responsible for all work shown. The contractor shall be responsible for all work shown. The contractor shall be responsible for all work shown.

| ISSUES & REVISIONS |             |      |    |
|--------------------|-------------|------|----|
| No.                | Description | Date | By |
| 1                  | ISSUE       |      |    |
| 2                  | REVISION    |      |    |
| 3                  | REVISION    |      |    |
| 4                  | REVISION    |      |    |



**architect**  
 a.robertmumfry  
 ARCHITECTS  
 1100-2255B JAMES STREET EAST  
 AURORA, ONTARIO M4E 1G3



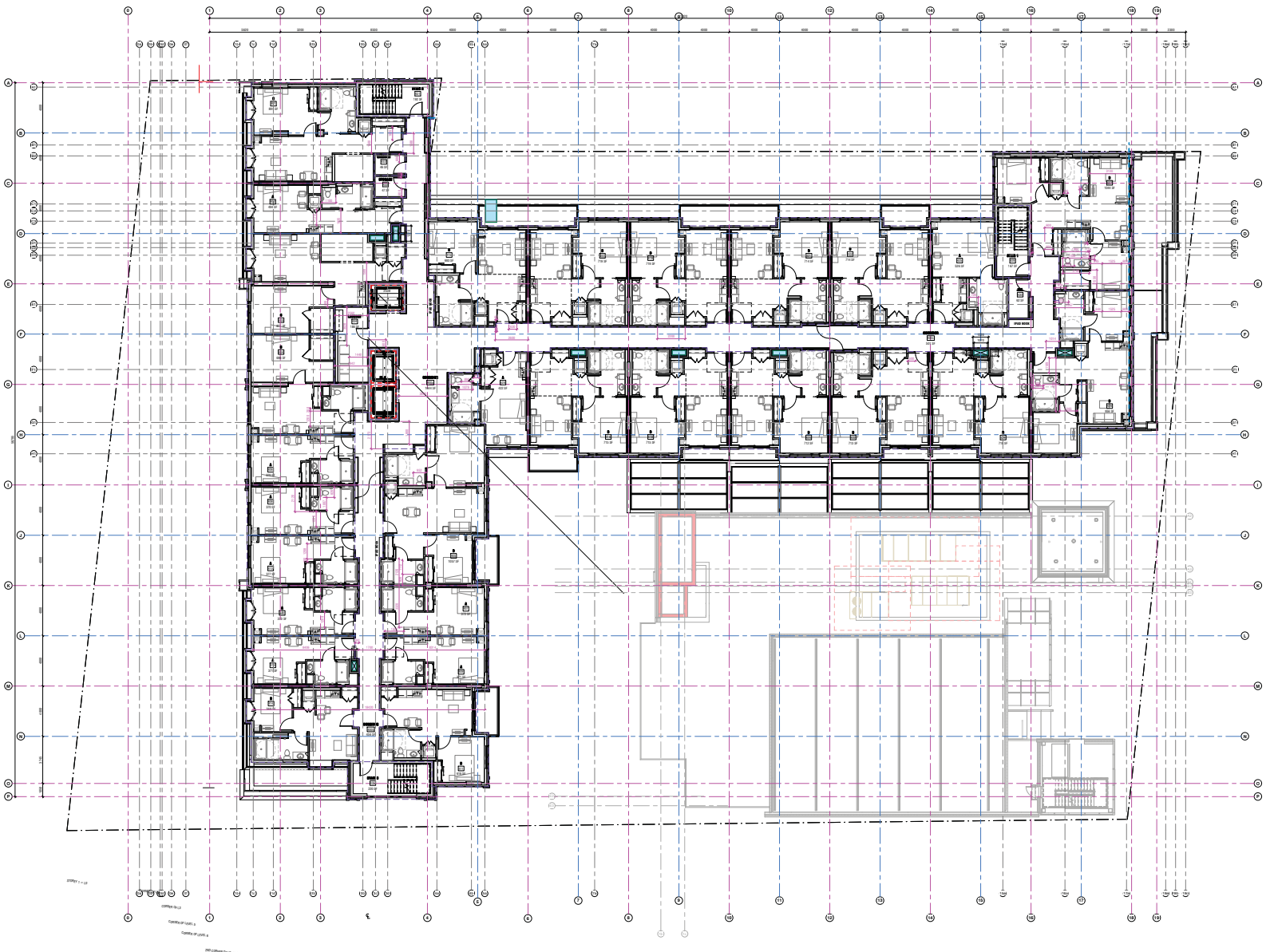
For  
 Amica Senior Lifestyles

For  
**AMICA AT AURORA  
 RETIREMENT RESIDENCE**  
 15186 Yonge Street  
 Aurora, ON

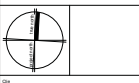
| LEVEL 3 FLOOR PLAN |       |         |              |
|--------------------|-------|---------|--------------|
| Date               | By    | Checked | Scale        |
| 2019 11 29         |       |         | 1:100        |
| 2018 Aurora Yonge  |       |         |              |
| Scale              | 1:100 | Checked | PM           |
| Drawn              | PM    | Checked | PM           |
| Project            |       |         | <b>A2-03</b> |

**COPYRIGHT RESERVED**  
 This plan and design are all of all laws unless the evidence appears to the contrary and subject to prior arrangements with the client. The client is responsible for the accuracy of the information provided and for the consequences of any errors or omissions. The architect and engineer shall not be liable for any damages, including reasonable attorneys' fees, arising out of or from the use of the information provided herein.

| ISSUES & REVISIONS |             |    |          |
|--------------------|-------------|----|----------|
| No.                | Description | By | Date     |
| 1                  | ISSUE       | MM | 11/11/19 |
| 2                  | REVISION    | MM | 11/11/19 |
| 3                  | REVISION    | MM | 11/11/19 |
| 4                  | REVISION    | MM | 11/11/19 |



**robertmumphy**  
**architect**  
 ARCHITECTS & ENGINEERS  
 1100-22500 KENNEDY STREET EAST  
 SCARBOROUGH, ONTARIO M1E 1G1



For:  
 Amica Senior Lifestyles

Project:  
**AMICA AT AURORA**  
**RETIREMENT RESIDENCE**  
 15186 Yonge Street  
 Aurora, ON

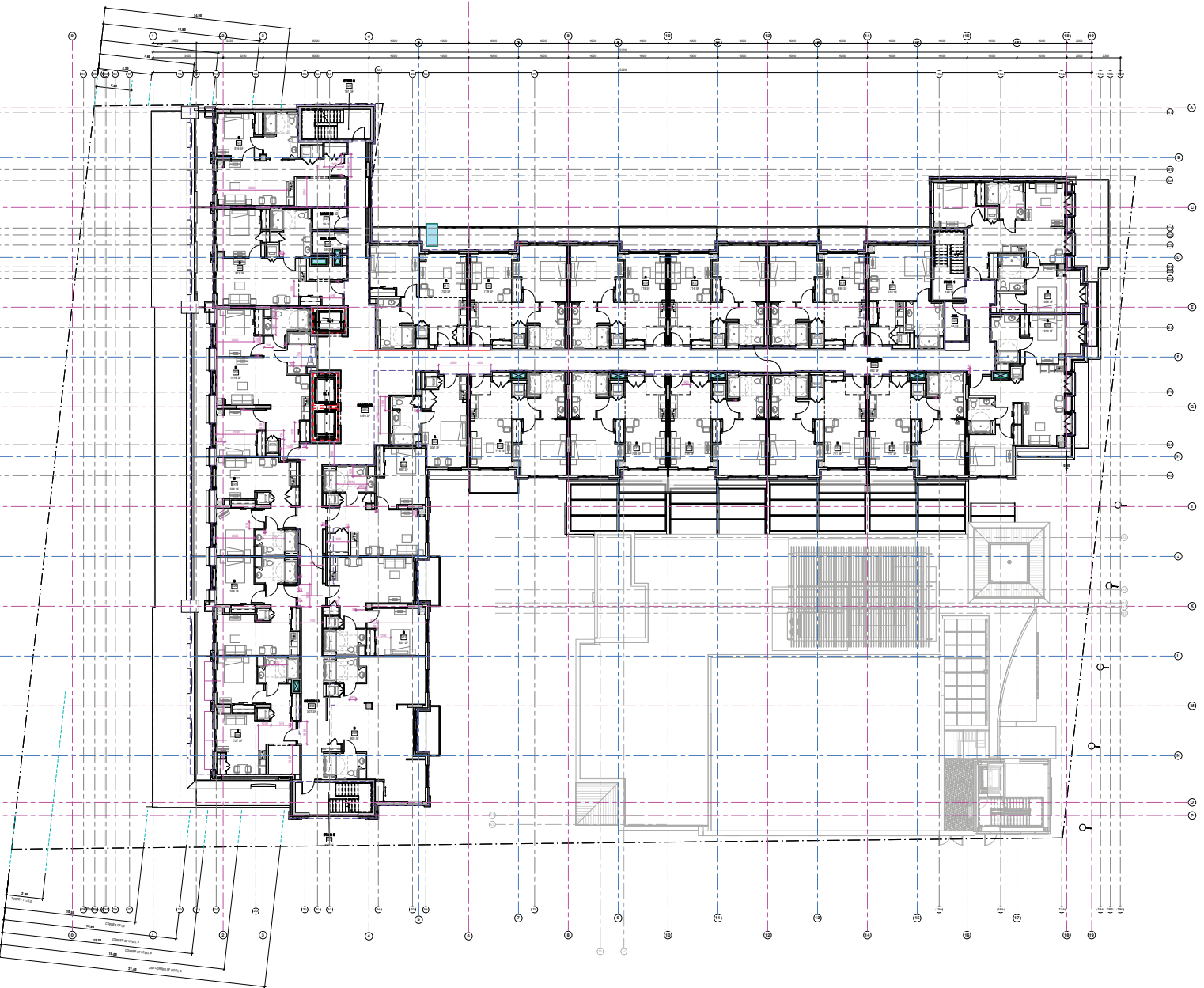
Sheet:  
**LEVEL 4 FLOOR PLAN**

|        |            |              |                   |
|--------|------------|--------------|-------------------|
| DATE   | 2019 11 29 | PROJECT      | 2018 Aurora Yonge |
| SCALE  | 1:100      | DRAWING      | CLIPPING          |
| DESIGN | MM         | CHECKED      | MM                |
| DATE   |            | DATE         |                   |
|        |            | <b>A2-04</b> |                   |



**COPYRIGHT RESERVED**  
 This plan and design are, with all items herein the exclusive property of the architect and cannot be copied, reproduced, altered, modified, or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect. The architect shall not be responsible for any damages or consequences that may result from the use of the plan or design for any purpose other than that intended.

| ISSUES & REVISIONS |                    |
|--------------------|--------------------|
| NO.                | DESCRIPTION        |
| 1                  | ISSUES & REVISIONS |
| 2                  | ISSUES & REVISIONS |
| 3                  | ISSUES & REVISIONS |
| 4                  | ISSUES & REVISIONS |
| 5                  | ISSUES & REVISIONS |



elizabeth thompson  
**architect**  
 incorporated  
 100-22506 queen street west  
 toronto, ontario M4E 1Y3



for  
 Amica Senior Lifestyle

for  
**AMICA AT AURORA  
 RETIREMENT RESIDENCE**  
 15186 Yonge Street  
 Aurora, ON

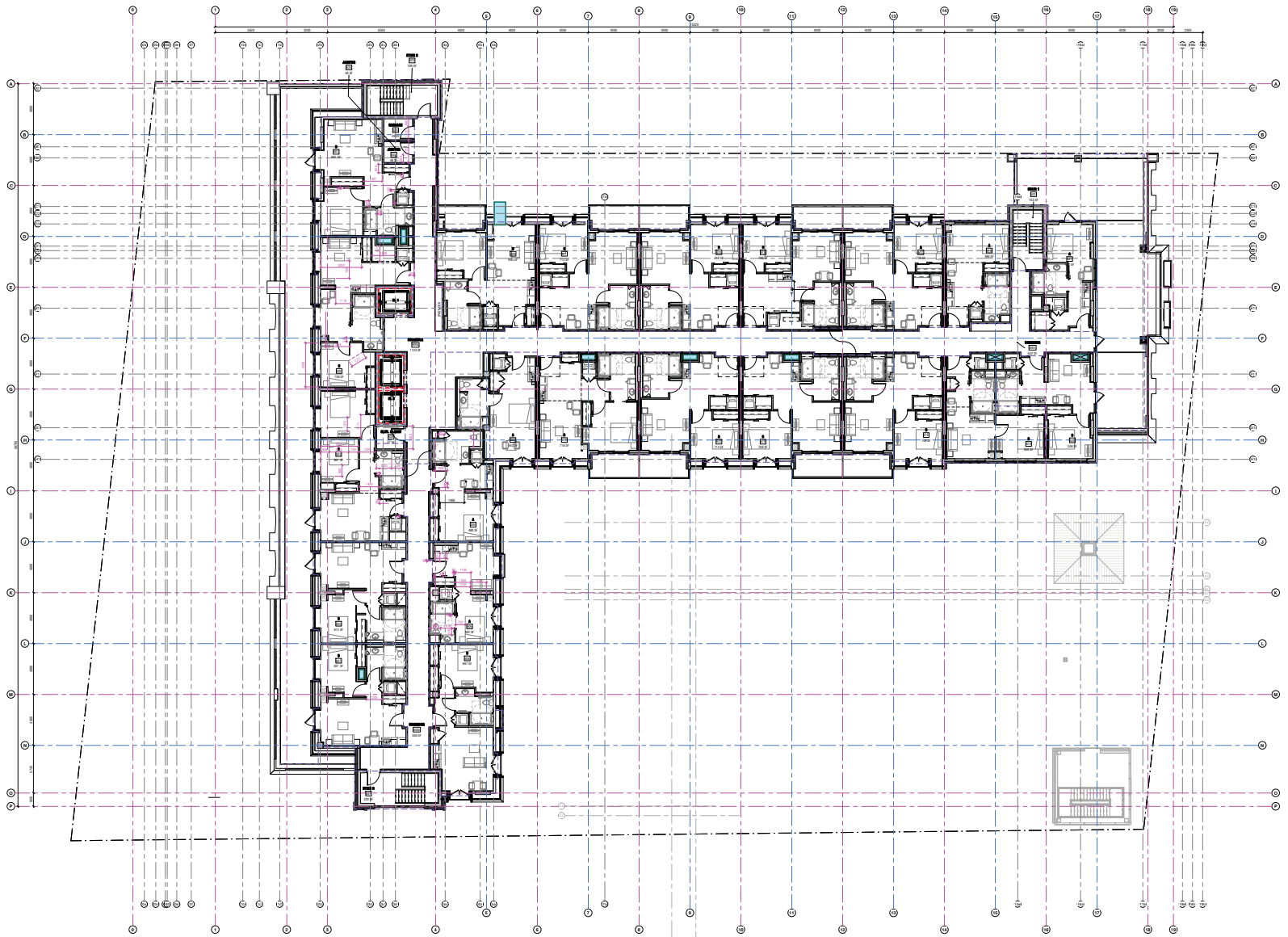
Project  
**LEVEL 5 FLOOR PLAN**

|        |            |         |                   |
|--------|------------|---------|-------------------|
| Client | 2019-11-20 | Project | 2019 Aurora Yonge |
| Scale  | 1:100      | Sheet   |                   |
| Author | HL         | Revised | RM                |
| Drawn  |            | Checked |                   |
| Scale  |            | Scale   |                   |

**A2-05**

**COPYRIGHT RESERVED**  
 This plan and design are all of all-kind subject the exclusive property of the architect and shall be used only for the purposes and within the limits of the contract and shall not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of the architect.

| ISSUES & REVISIONS |             |    |          |
|--------------------|-------------|----|----------|
| No.                | Description | By | Date     |
| 1                  | REVISION    | AM | 11/11/19 |
| 2                  | REVISION    | AM | 11/11/19 |
| 3                  | REVISION    | AM | 11/11/19 |
| 4                  | REVISION    | AM | 11/11/19 |
| 5                  | REVISION    | AM | 11/11/19 |
| 6                  | REVISION    | AM | 11/11/19 |
| 7                  | REVISION    | AM | 11/11/19 |
| 8                  | REVISION    | AM | 11/11/19 |
| 9                  | REVISION    | AM | 11/11/19 |
| 10                 | REVISION    | AM | 11/11/19 |
| 11                 | REVISION    | AM | 11/11/19 |
| 12                 | REVISION    | AM | 11/11/19 |
| 13                 | REVISION    | AM | 11/11/19 |
| 14                 | REVISION    | AM | 11/11/19 |
| 15                 | REVISION    | AM | 11/11/19 |
| 16                 | REVISION    | AM | 11/11/19 |
| 17                 | REVISION    | AM | 11/11/19 |
| 18                 | REVISION    | AM | 11/11/19 |
| 19                 | REVISION    | AM | 11/11/19 |
| 20                 | REVISION    | AM | 11/11/19 |
| 21                 | REVISION    | AM | 11/11/19 |
| 22                 | REVISION    | AM | 11/11/19 |
| 23                 | REVISION    | AM | 11/11/19 |
| 24                 | REVISION    | AM | 11/11/19 |
| 25                 | REVISION    | AM | 11/11/19 |
| 26                 | REVISION    | AM | 11/11/19 |
| 27                 | REVISION    | AM | 11/11/19 |
| 28                 | REVISION    | AM | 11/11/19 |
| 29                 | REVISION    | AM | 11/11/19 |
| 30                 | REVISION    | AM | 11/11/19 |
| 31                 | REVISION    | AM | 11/11/19 |
| 32                 | REVISION    | AM | 11/11/19 |
| 33                 | REVISION    | AM | 11/11/19 |
| 34                 | REVISION    | AM | 11/11/19 |
| 35                 | REVISION    | AM | 11/11/19 |
| 36                 | REVISION    | AM | 11/11/19 |
| 37                 | REVISION    | AM | 11/11/19 |
| 38                 | REVISION    | AM | 11/11/19 |
| 39                 | REVISION    | AM | 11/11/19 |
| 40                 | REVISION    | AM | 11/11/19 |
| 41                 | REVISION    | AM | 11/11/19 |
| 42                 | REVISION    | AM | 11/11/19 |
| 43                 | REVISION    | AM | 11/11/19 |
| 44                 | REVISION    | AM | 11/11/19 |
| 45                 | REVISION    | AM | 11/11/19 |
| 46                 | REVISION    | AM | 11/11/19 |
| 47                 | REVISION    | AM | 11/11/19 |
| 48                 | REVISION    | AM | 11/11/19 |
| 49                 | REVISION    | AM | 11/11/19 |
| 50                 | REVISION    | AM | 11/11/19 |
| 51                 | REVISION    | AM | 11/11/19 |
| 52                 | REVISION    | AM | 11/11/19 |
| 53                 | REVISION    | AM | 11/11/19 |
| 54                 | REVISION    | AM | 11/11/19 |
| 55                 | REVISION    | AM | 11/11/19 |
| 56                 | REVISION    | AM | 11/11/19 |
| 57                 | REVISION    | AM | 11/11/19 |
| 58                 | REVISION    | AM | 11/11/19 |
| 59                 | REVISION    | AM | 11/11/19 |
| 60                 | REVISION    | AM | 11/11/19 |
| 61                 | REVISION    | AM | 11/11/19 |
| 62                 | REVISION    | AM | 11/11/19 |
| 63                 | REVISION    | AM | 11/11/19 |
| 64                 | REVISION    | AM | 11/11/19 |
| 65                 | REVISION    | AM | 11/11/19 |
| 66                 | REVISION    | AM | 11/11/19 |
| 67                 | REVISION    | AM | 11/11/19 |
| 68                 | REVISION    | AM | 11/11/19 |
| 69                 | REVISION    | AM | 11/11/19 |
| 70                 | REVISION    | AM | 11/11/19 |
| 71                 | REVISION    | AM | 11/11/19 |
| 72                 | REVISION    | AM | 11/11/19 |
| 73                 | REVISION    | AM | 11/11/19 |
| 74                 | REVISION    | AM | 11/11/19 |
| 75                 | REVISION    | AM | 11/11/19 |
| 76                 | REVISION    | AM | 11/11/19 |
| 77                 | REVISION    | AM | 11/11/19 |
| 78                 | REVISION    | AM | 11/11/19 |
| 79                 | REVISION    | AM | 11/11/19 |
| 80                 | REVISION    | AM | 11/11/19 |
| 81                 | REVISION    | AM | 11/11/19 |
| 82                 | REVISION    | AM | 11/11/19 |
| 83                 | REVISION    | AM | 11/11/19 |
| 84                 | REVISION    | AM | 11/11/19 |
| 85                 | REVISION    | AM | 11/11/19 |
| 86                 | REVISION    | AM | 11/11/19 |
| 87                 | REVISION    | AM | 11/11/19 |
| 88                 | REVISION    | AM | 11/11/19 |
| 89                 | REVISION    | AM | 11/11/19 |
| 90                 | REVISION    | AM | 11/11/19 |
| 91                 | REVISION    | AM | 11/11/19 |
| 92                 | REVISION    | AM | 11/11/19 |
| 93                 | REVISION    | AM | 11/11/19 |
| 94                 | REVISION    | AM | 11/11/19 |
| 95                 | REVISION    | AM | 11/11/19 |
| 96                 | REVISION    | AM | 11/11/19 |
| 97                 | REVISION    | AM | 11/11/19 |
| 98                 | REVISION    | AM | 11/11/19 |
| 99                 | REVISION    | AM | 11/11/19 |
| 100                | REVISION    | AM | 11/11/19 |



**robertmurray**  
**architect**  
 ARCHITECTS  
 100-2258 jayem street east  
 Aurora, Ontario M4E 1G3



For:  
 Amica Senior Lifestyles

Project:  
**AMICA AT AURORA  
 RETIREMENT RESIDENCE**  
 15186 Yonge Street  
 Aurora, ON

Drawing:  
**LEVEL 6 FLOOR PLAN**

|        |            |              |                   |
|--------|------------|--------------|-------------------|
| Date:  | 2019 11 29 | Sheet:       | 2018 Aurora Yonge |
| Scale: | 1:100      | Client:      | Amica             |
| Drawn: | ML         | Checked:     | PM                |
| Plot:  |            | Plot:        |                   |
|        |            | <b>A2-06</b> |                   |

**COPYRIGHT RESERVED**  
 This plan and design are all of all-kind subject the exclusive property of the architect and shall not be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect. The architect shall not be held liable for any damages from the use of this plan and design for any purpose other than that intended by the architect.

**ISSUES & REVISIONS**

| No. | DATE       | ISSUE        | REVISION     | BY |
|-----|------------|--------------|--------------|----|
| 1   | 2019 11 29 | CONSTRUCTION | CONSTRUCTION | ML |
| 2   | 2019 11 29 | CONSTRUCTION | CONSTRUCTION | ML |

DATE: 2019 11 29  
 PROJECT: 2018 Aurora Yonge

SCALE: 1:100  
 DRAWING: A2-07

DATE: 2019 11 29  
 PROJECT: 2018 Aurora Yonge

SCALE: 1:100  
 DRAWING: A2-07

DATE: 2019 11 29  
 PROJECT: 2018 Aurora Yonge

SCALE: 1:100  
 DRAWING: A2-07

DATE: 2019 11 29  
 PROJECT: 2018 Aurora Yonge

SCALE: 1:100  
 DRAWING: A2-07

DATE: 2019 11 29  
 PROJECT: 2018 Aurora Yonge

SCALE: 1:100  
 DRAWING: A2-07

DATE: 2019 11 29  
 PROJECT: 2018 Aurora Yonge

SCALE: 1:100  
 DRAWING: A2-07

DATE: 2019 11 29  
 PROJECT: 2018 Aurora Yonge

SCALE: 1:100  
 DRAWING: A2-07

DATE: 2019 11 29  
 PROJECT: 2018 Aurora Yonge

SCALE: 1:100  
 DRAWING: A2-07

DATE: 2019 11 29  
 PROJECT: 2018 Aurora Yonge

SCALE: 1:100  
 DRAWING: A2-07

DATE: 2019 11 29  
 PROJECT: 2018 Aurora Yonge

SCALE: 1:100  
 DRAWING: A2-07

DATE: 2019 11 29  
 PROJECT: 2018 Aurora Yonge

SCALE: 1:100  
 DRAWING: A2-07

DATE: 2019 11 29  
 PROJECT: 2018 Aurora Yonge

SCALE: 1:100  
 DRAWING: A2-07

DATE: 2019 11 29  
 PROJECT: 2018 Aurora Yonge

SCALE: 1:100  
 DRAWING: A2-07

DATE: 2019 11 29  
 PROJECT: 2018 Aurora Yonge

SCALE: 1:100  
 DRAWING: A2-07

**architect**

1100-2258 Bloor Street East  
 Toronto, Ontario M4E 1G3

1100-2258 Bloor Street East  
 Toronto, Ontario M4E 1G3

1100-2258 Bloor Street East  
 Toronto, Ontario M4E 1G3

1100-2258 Bloor Street East  
 Toronto, Ontario M4E 1G3

1100-2258 Bloor Street East  
 Toronto, Ontario M4E 1G3

1100-2258 Bloor Street East  
 Toronto, Ontario M4E 1G3

1100-2258 Bloor Street East  
 Toronto, Ontario M4E 1G3

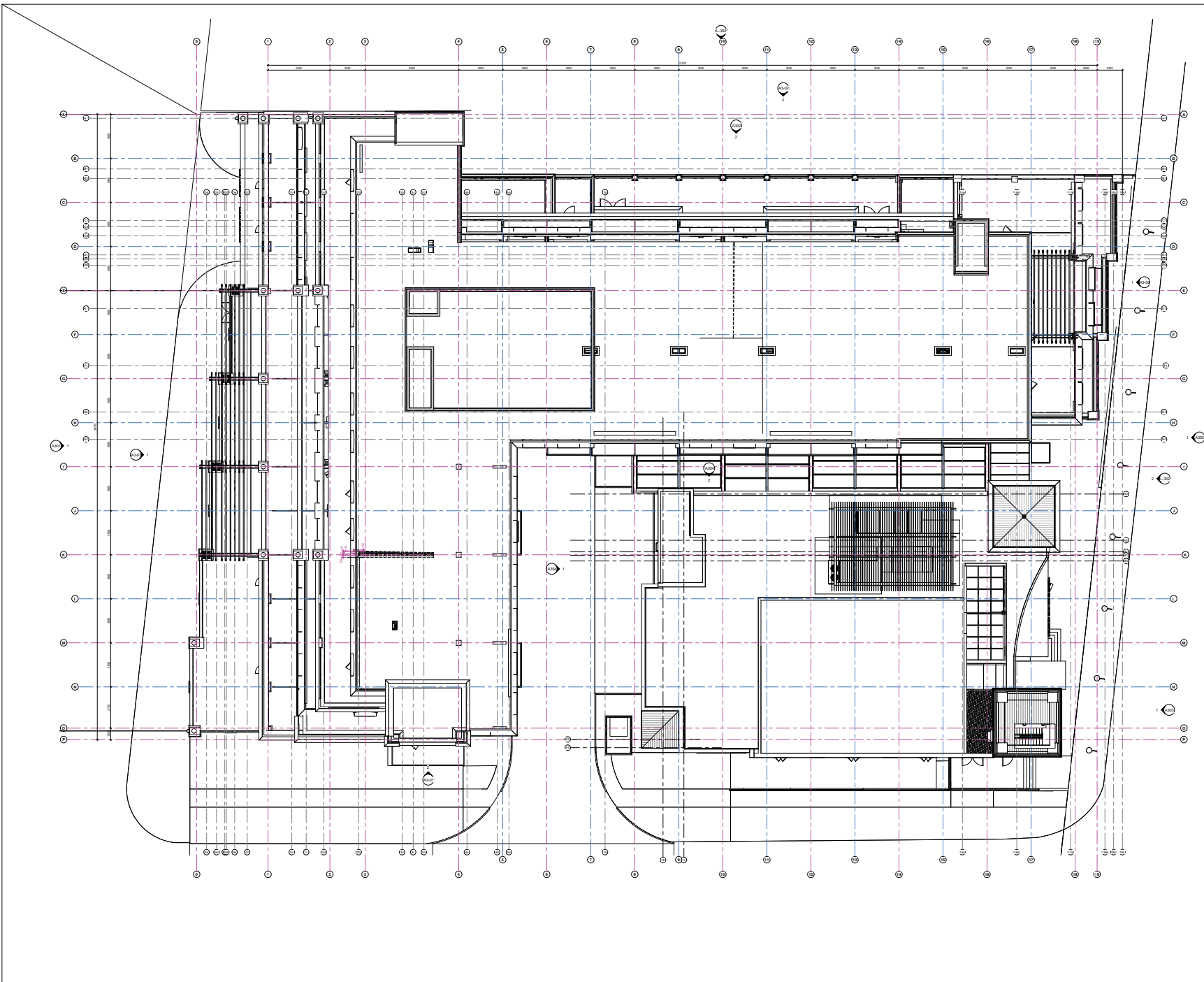
1100-2258 Bloor Street East  
 Toronto, Ontario M4E 1G3

1100-2258 Bloor Street East  
 Toronto, Ontario M4E 1G3

1100-2258 Bloor Street East  
 Toronto, Ontario M4E 1G3

1100-2258 Bloor Street East  
 Toronto, Ontario M4E 1G3

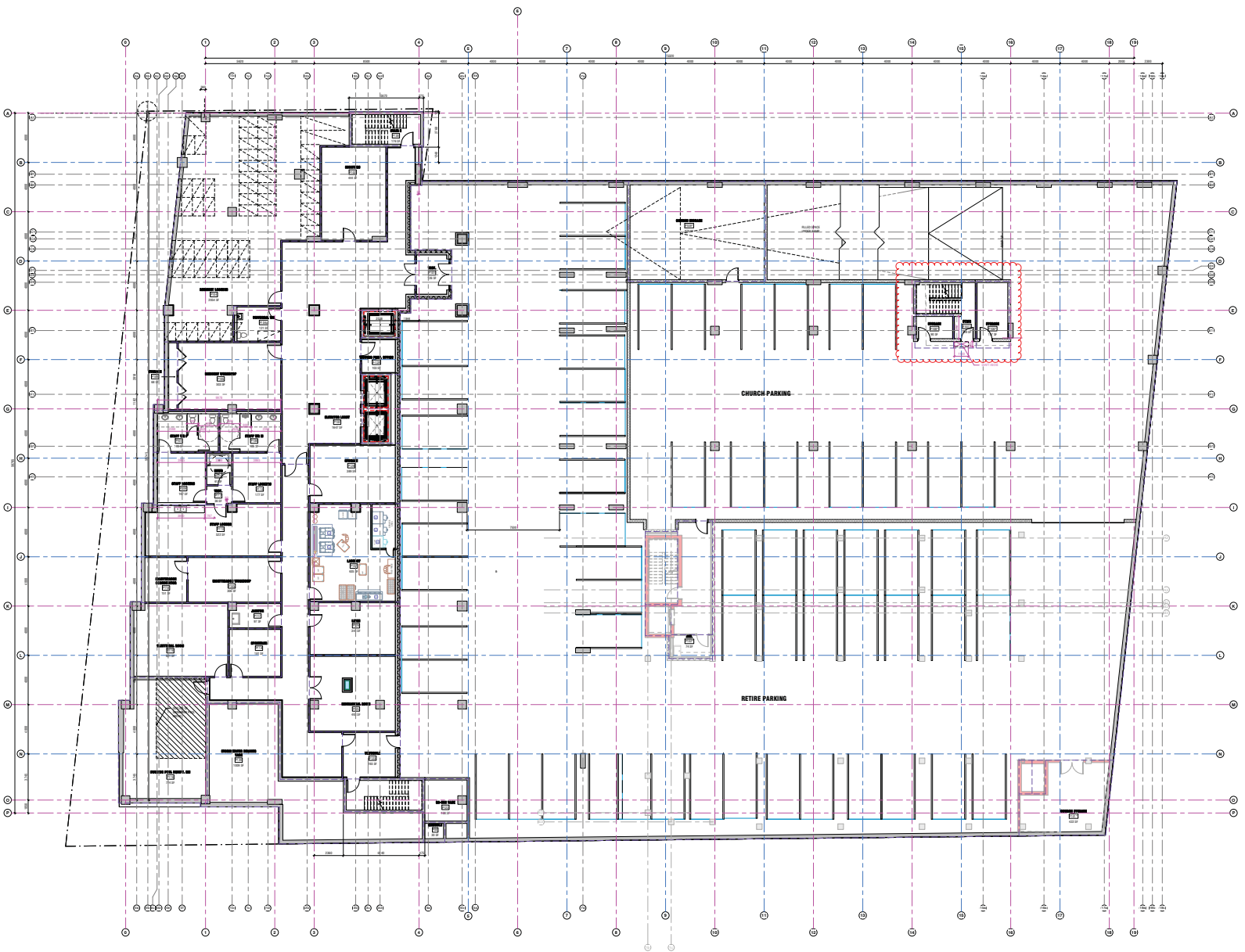
1100-2258 Bloor Street East  
 Toronto, Ontario M4E 1G3



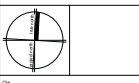


**COPYRIGHT RESERVED**  
 This plan and design are all of all-kind subject the exclusive property of the architect and shall not be used, reproduced or otherwise disseminated in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect.

| ISSUES & REVISIONS |            |             |    |
|--------------------|------------|-------------|----|
| NO.                | DATE       | DESCRIPTION | BY |
| 01                 | 2019 11 29 | ISSUE       | MM |
| 02                 | 2019 11 29 | REVISION    | MM |
| 03                 | 2019 11 29 | REVISION    | MM |
| 04                 | 2019 11 29 | REVISION    | MM |
| 05                 | 2019 11 29 | REVISION    | MM |
| 06                 | 2019 11 29 | REVISION    | MM |



**robert murray**  
**architect**  
 100-2256 jayem street east  
 brantford, ontario M4E 1G3



for  
 Amica Senior Lifestyles

for  
**AMICA AT AURORA**  
**RETIREMENT RESIDENCE**  
 15186 Yonge Street  
 Aurora, ON

showing  
**LEVEL P1 FLOOR PLAN**

|          |            |              |                   |
|----------|------------|--------------|-------------------|
| DATE     | 2019 11 29 | PROJECT      | 2018 Aurora Yonge |
| SCALE    | 1:100      | DRAWING      | CLG04             |
| DESIGNER | MM         | CHECKED      | MM                |
| DATE     |            | DATE         |                   |
|          |            | <b>A2-P1</b> |                   |

COPYRIGHT RESERVED  
 This plan and design are the property of the architect and shall remain the property of the architect. No part of this plan or design may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect.

ISSUES & REVISIONS

| NO. | ISSUE | RESPONSIBLE | DATE |
|-----|-------|-------------|------|
| 1   |       |             |      |

| AREA                                    | SF     | %     | COVERAGE |
|---|--------|-------|----------|
| BUILDING COVERAGE                       | 48,975 | 4,841 | 100%     |
| LANDSCAPED OPEN SPACE                   | 29,365 | 2,926 | 100%     |
| Proposed                                | 2,876  | 287   | 10%      |
| Plant Landscaping                       | 2,649  | 265   | 10%      |
| Soft Landscaping                        | 2,878  | 288   | 10%      |
| REQUIRED PARKING PER SITE SPECIFIC PLAN | 1,000  | 100   | 100%     |
| Minimum Required                        | 100    | 10    | 10%      |
| 1:4 Maximum Ratio to 100 Seats          | 100    | 10    | 10%      |
| 1:8 Maximum Ratio to 200 Seats          | 100    | 10    | 10%      |
| TOTAL                                   | 100    | 10    | 10%      |

| PROPOSED PARKING              | MINIMUM | MAXIMUM | COVERAGE |
|-------------------------------|---------|---------|----------|
| Minimum Required              | 100     | 10      | 10%      |
| Level 1 Surface Parking       | 100     | 10      | 10%      |
| Level 2 (Underground) Parking | 100     | 10      | 10%      |
| TOTAL                         | 100     | 10      | 10%      |

| PROPOSED BICYCLE PARKING              | REQUIREMENT | CHURCH | TOTAL |
|---------------------------------------|-------------|--------|-------|
| Proposed (per 17.7.2.20)              | 10          | 1      | 11    |
| Proposed                              | 10          | 1      | 11    |
| PER SUMMARY                           | 10          | 1      | 11    |
| Minimum Required (Minimum Floor Area) | 10          | 1      | 11    |
| Level 1 (Underground) Floor Area      | 10          | 1      | 11    |
| TOTAL                                 | 10          | 1      | 11    |

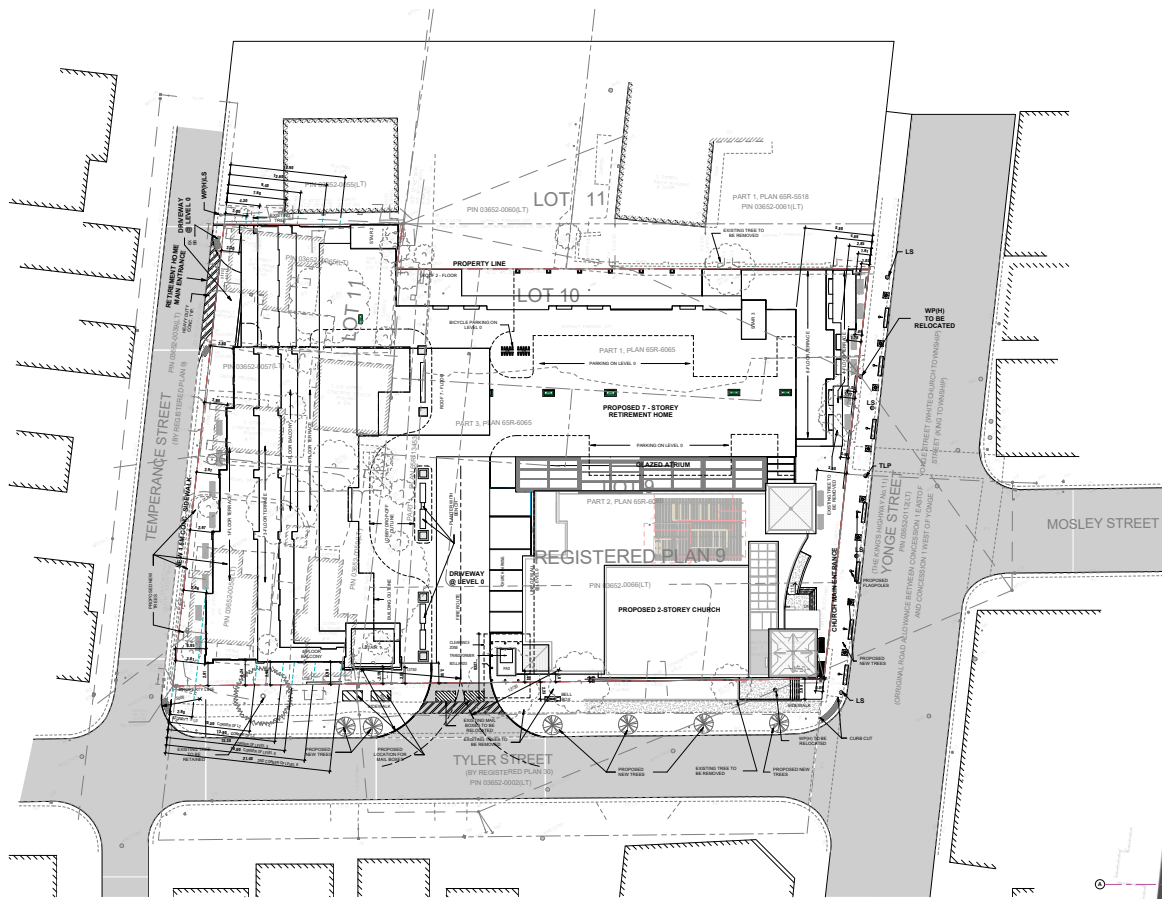
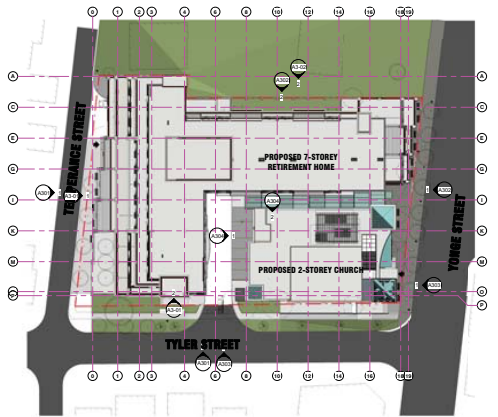
  

| PROPOSED NUMBER OF OCCUPANCY SLOTS | MINIMUM | CHURCH | TOTAL |
|------------------------------------|---------|--------|-------|
| Minimum Required                   | 100     | 1      | 101   |
| Proposed                           | 100     | 1      | 101   |
| Proposed Church Seating            | 100     | 1      | 101   |

2 Site Statistics  
 1:100

LEGEND

- BB DENOTES BELLBOX
- BOLL DENOTES BOLLARD
- CB DENOTES CATCH BASIN
- C/CUT DENOTES CURB CUT
- CLF DENOTES CHAIN LINK FENCE
- CPAD DENOTES CONCRETE PAD
- CSW DENOTES CONCRETE SIDE WALK
- DCB DENOTES DOUBLE CATCH BASIN
- EP DENOTES EDGE OF PAVEMENT
- FH DENOTES FIRE HYDRANT
- LS DENOTES LIGHT STANDARD
- SP DENOTES SIGN POST
- TLP DENOTES TRAFFIC LIGHT POLE
- TOS DENOTES TOP OF SLOPE
- UP DENOTES UTILITY POLE



1 SITE PLAN  
 1:200

| CHURCH    |     |
|-----------|-----|
| Occupancy | 100 |
| Area      | 100 |
| Volume    | 100 |
| Height    | 100 |
| Depth     | 100 |
| Width     | 100 |
| Length    | 100 |
| Perimeter | 100 |
| Diagonal  | 100 |
| Radius    | 100 |
| Diameter  | 100 |
| Area      | 100 |
| Volume    | 100 |
| Height    | 100 |
| Depth     | 100 |
| Width     | 100 |
| Length    | 100 |
| Perimeter | 100 |
| Diagonal  | 100 |
| Radius    | 100 |
| Diameter  | 100 |

| BUREAU COUNT SUMMARY |      |                 |           |       |     |
|----------------------|------|-----------------|-----------|-------|-----|
| OCCUPANCY            | AREA | SL-FLOR COVERED | UNIT TYPE | COUNT | IMP |
| CHURCH               | 100  |                 |           | 100   |     |
| RETIRED HOME         | 100  |                 |           | 100   |     |
| PARKING              | 100  |                 |           | 100   |     |
| LANDSCAPING          | 100  |                 |           | 100   |     |
| TOTAL                | 100  |                 |           | 100   |     |

s.robertson  
 architect  
 incorporated  
 1100-2255B Queen Street East  
 Toronto, Ontario M4E 1G3



Seneca Senior Lifestyles

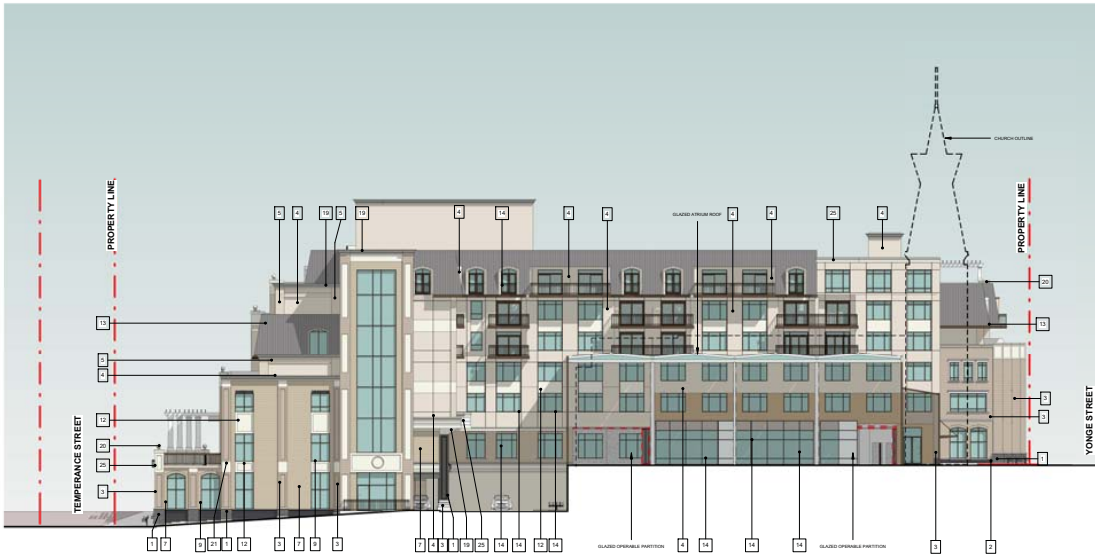
AMICA AT AURORA  
 RETIREMENT RESIDENCE  
 15186 Yonge Street  
 Aurora, ON

SITE PLAN-PRESENTATION

| City File    | Project            |
|--------------|--------------------|
| 2019 11 20   | 15016 Aurora Yonge |
| As Indicated |                    |
| HLNG         | RM                 |
| A101         |                    |



1 WEST ELEVATION (TEMPERANCE STREET)  
 1 : 200



2 SOUTH ELEVATION (TYLER STREET)  
 1 : 200

**MATERIALS LEGEND**

|     |  |
|-----|--|
| 1   | MASONRY - SMOOTH FINISH - GREY   |
| 2   | MASONRY - RUSTICATED FINISH - GREY   |
| 3   | MASONRY - SMOOTH FINISH - BEIGE  |
| 3A  | MASONRY - RUSTICATED FINISH - BEIGE  |
| 4   | EXTERIOR INSULATION & FINISH SYSTEM (EIFS) - LIGHT SHADE                         |
| 5   | EXTERIOR INSULATION & FINISH SYSTEM (EIFS) - MEDIUM SHADE                        |
| 6   | EXTERIOR INSULATION & FINISH SYSTEM (EIFS) - DARK SHADE                          |
| 7   | MASONRY - YELLOW   |
| 8   | MASONRY - CREAM  |
| 9   | DOUBLE GLAZED THERMALLY BROKEN WINDOW W/ PREFINISHED ALUMINUM FRAME              |
| 10  | DOUBLE GLAZED THERMALLY BROKEN DOOR W/ PREFINISHED ALUMINUM FRAME                |
| 11  | DOUBLE GLAZED THERMALLY BROKEN CURTAIN WALL W/ PREFINISHED ALUMINUM FRAME        |
| 11A | TINTED DOUBLE GLAZED THERMALLY BROKEN CURTAIN WALL W/ PREFINISHED ALUMINUM FRAME |
| 12  | INSULATED METAL PANEL  |
| 13  | PREFINISHED STANDING SEAM METAL ROOF   |
| 14  | PREFINISHED ALUMINUM GUARD RAIL  |
| 15  | PREFINISHED ALUMINUM GUARD RAIL CW TEMPERED FROSTED GLASS PANELS                 |
| 16  | PREFINISHED ALUMINUM FASCIA  |
| 17  | PREFINISHED ALUMINUM FASCIA & GLITTER  |
| 18  | PREFINISHED ALUMINUM FLASHING  |
| 19  | DECORATIVE CROWN MOLDING   |
| 20  | PRECAST CONCRETE COPING  |
| 21  | PRECAST MOLDING  |
| 22  | INSULATED METAL DOOR IN THERMALLY BROKEN METAL FRAME - PAINTED                   |
| 23  | INSULATED OVERHEAD SECTIONAL DOOR IN THERMALLY BROKEN METAL FRAME - PAINTED      |
| 24  | STEEL FRAMING - POWDER COATED  |
| 25  | CONCRETE PLASTER CAPITAL   |
| 26  | EIFS PILASTER CAPITAL CLADDING   |
| 27  | CEMENT PARAPET   |
| 28  | STANDING SEAM METAL (COPPER) ROOF  |
| 29  | ALUMINUM PERFORATED SCREENS  |
| 30  | SLOPED GLAZED ROOF   |
| 31  | ALUMINUM MULLIONS  |

This plan and section are used at all times remain the exclusive property of the architect...  
 architect consent. William Demopoulos shall have precedence over signed drawings. Contractors shall verify and be responsible for all dimensions and conditions on the job and that they shall be informed of any variations from the dimensions and conditions shown on the drawings.

**ISSUES & REVISIONS**

| No. | DATE       | ISSUED FOR     | BY  |
|-----|------------|----------------|-----|
| 1   | 2019 10 16 | ISSUED FOR RFA | WMA |

**a.robertmurray**  
**architect**  
 incorporated  
 1100-2255B queen street east  
 toronto, ontario M4E 1G3  
 Consultant

**ONARIO ASSOCIATION**  
**OF ARCHITECTS**  
 INCORPORATED  
 A SOCIETY INCORPORATED  
 SINCE 1906

Client  
 Amica Senior Lifestyles

Project  
**AMICA AT AURORA**  
**RETIREMENT RESIDENCE**  
 15186 Yonge Street  
 Aurora, ON

Drawing Title  
 West & South Elevations

|               |              |             |             |                   |
|---------------|--------------|-------------|-------------|-------------------|
| City File No. | Date         | 2019 10 11  | Project No. | 2016 Aurora Yonge |
| Scale         | As indicated | Drawing No. | A3-01       |                   |
| Drawn By      | NQ           | Checked By  | RM          |                   |
| File Name     |              |             |             |                   |

WMA/RS/0016/0001/13A

This plan and section are used at all times within the building property of the drawings. The contractor shall be responsible for all dimensions and conditions on the job and that they shall be informed of any variations from the dimensions and conditions shown on the drawings.

| ISSUES & REVISIONS |            |                |    |
|--------------------|------------|----------------|----|
| No.                | DATE       | ISSUED FOR     | BY |
| 1                  | 2019 10 16 | ISSUED FOR RFA | RM |

**a.robertmumphy**  
**architect**  
 incorporated  
 1100-2255B queen street east  
 toronto, ontario M4E 1G3  
 Consultant



Client  
 Amica Senior Lifestyles

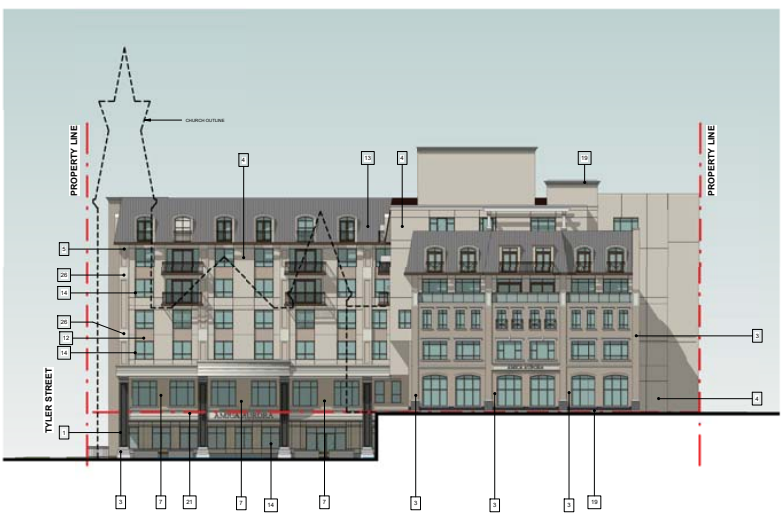
Project  
**AMICA AT AURORA  
 RETIREMENT RESIDENCE**  
 15186 Yonge Street  
 Aurora, ON

Drawing Title  
 East & North Elevations

|                       |                   |
|-----------------------|-------------------|
| City File No.         | Project No.       |
| Date<br>2019 10 11    | 2016 Aurora Yonge |
| Scale<br>As indicated | Drawing No.       |
| Drawn By<br>NQ        | Checked By<br>RM  |
| File Name             | <b>A3-02</b>      |

**MATERIALS LEGEND**

|    |  |
|----|--|
| 1  | MASONRY - SMOOTH FINISH - GREY   |
| 2  | MASONRY - RUSTICATED FINISH - GREY   |
| 3  | MASONRY - SMOOTH FINISH - BEIGE  |
| 4  | MASONRY - RUSTICATED FINISH - BEIGE  |
| 5  | EXTERIOR INSULATION & FINISH SYSTEM (EIFS) - LIGHT SHADE                         |
| 6  | EXTERIOR INSULATION & FINISH SYSTEM (EIFS) - MEDIUM SHADE                        |
| 7  | EXTERIOR INSULATION & FINISH SYSTEM (EIFS) - DARK SHADE                          |
| 8  | MASONRY - YELLOW   |
| 9  | MASONRY - CREAM  |
| 10 | DOUBLE GLAZED THERMALLY BROKEN WINDOW W/ PREFINISHED ALUMINUM FRAME              |
| 11 | DOUBLE GLAZED THERMALLY BROKEN DOOR W/ PREFINISHED ALUMINUM FRAME                |
| 12 | DOUBLE GLAZED THERMALLY BROKEN CURTAIN WALL W/ PREFINISHED ALUMINUM FRAME        |
| 13 | UNITED DOUBLE GLAZED THERMALLY BROKEN CURTAIN WALL W/ PREFINISHED ALUMINUM FRAME |
| 14 | INSULATED METAL PANEL  |
| 15 | PREFINISHED STANDING SEAM METAL ROOF   |
| 16 | PREFINISHED ALUMINUM GUARD RAIL  |
| 17 | PREFINISHED ALUMINUM GUARD RAIL ON TEMPERED PROTECTED GLASS PANELS               |
| 18 | PREFINISHED ALUMINUM FASCIA  |
| 19 | PREFINISHED ALUMINUM FASCIA & GUTTER   |
| 20 | PREFINISHED ALUMINUM FLASHING  |
| 21 | DECORATIVE CROWN MOULDING  |
| 22 | PRECAST CONCRETE CORNING   |
| 23 | PRECAST MOULDING   |
| 24 | INSULATED METAL DOOR IN THERMALLY BROKEN METAL FRAME - PAINTED                   |
| 25 | INSULATED OVERHEAD SECTIONAL DOOR IN THERMALLY BROKEN METAL FRAME - PAINTED      |
| 26 | STEEL FRAMING - POWDER COATED  |
| 27 | CONCRETE PLASTER CAPITAL   |
| 28 | EIFS PLASTER CAPITAL CLADDING  |
| 29 | CEMENT PAVING  |
| 30 | STANDING SEAM METAL (COPPER) ROOF  |
| 31 | ALUMINUM PERFORATED SCREENS  |
| 32 | SLOPED GLAZED ROOF   |
| 33 | ALUMINUM MULLIONS  |



1 EAST ELEVATION (YONGE STREET)  
 1 : 200



2 NORTH ELEVATION - RH  
 1 : 200

DATE PLOTTED: 01/09/2020

This plan and section are used at all times remain the exclusive property of the Architect. The Architect shall not be held responsible for any construction errors or omissions. The Architect shall not be held responsible for any construction errors or omissions. The Architect shall not be held responsible for any construction errors or omissions. The Architect shall not be held responsible for any construction errors or omissions.

| ISSUES & REVISIONS |            |                |    |
|--------------------|------------|----------------|----|
| No.                | DATE       | ISSUED FOR     | BY |
| 1                  | 2019 10 16 | ISSUED FOR SPA | RM |

**MATERIALS LEGEND**

|    |  |
|----|--|
| 01 | MASONRY - SMOOTH FINISH - GREY   |
| 02 | MASONRY - RUSTICATED FINISH - GREY   |
| 03 | MASONRY - SMOOTH FINISH - BEIGE  |
| 04 | MASONRY - RUSTICATED FINISH - BEIGE  |
| 05 | EXTERIOR INSULATION & FINISH SYSTEM (EIFS) - LIGHT SHADE                         |
| 06 | EXTERIOR INSULATION & FINISH SYSTEM (EIFS) - MEDIUM SHADE                        |
| 07 | EXTERIOR INSULATION & FINISH SYSTEM (EIFS) - DARK SHADE                          |
| 08 | MASONRY - YELLOW   |
| 09 | MASONRY - CREAM  |
| 10 | DOUBLE GLAZED THERMALLY BROKEN WINDOW W/ PREFINISHED ALUMINUM FRAME              |
| 11 | DOUBLE GLAZED THERMALLY BROKEN DOOR W/ PREFINISHED ALUMINUM FRAME                |
| 12 | DOUBLE GLAZED THERMALLY BROKEN CURTAIN WALL W/ PREFINISHED ALUMINUM FRAME        |
| 13 | TINTED DOUBLE GLAZED THERMALLY BROKEN CURTAIN WALL W/ PREFINISHED ALUMINUM FRAME |
| 14 | INSULATED METAL PANEL  |
| 15 | PREFINISHED STANDING SEAM METAL ROOF   |
| 16 | PREFINISHED ALUMINUM GUARD RAIL  |
| 17 | PREFINISHED ALUMINUM GUARD RAIL CW TEMPERED FROSTED GLASS PANELS                 |
| 18 | PREFINISHED ALUMINUM FASCIA  |
| 19 | PREFINISHED ALUMINUM FASCIA & GUTTER   |
| 20 | PREFINISHED ALUMINUM FLASHING  |
| 21 | DECORATIVE CROWN MOULDING  |
| 22 | PRECAST CONCRETE COPING  |
| 23 | PRECAST MOULDING   |
| 24 | INSULATED METAL DOOR IN THERMALLY BROKEN METAL FRAME - PAINTED                   |
| 25 | INSULATED OVERHEAD SECTIONAL DOOR IN THERMALLY BROKEN METAL FRAME - PAINTED      |
| 26 | STEEL FRAMING - POWDER COATED  |
| 27 | CONCRETE PLASTER CAPITAL   |
| 28 | EIFS PLASTER CAPITAL CLADDING  |
| 29 | CEMENT PAVING  |
| 30 | STANDING SEAM METAL (COPPER) ROOF  |
| 31 | ALUMINUM PERFORATED SCREENS  |
| 32 | SLOPED GLAZED ROOF   |
| 33 | ALUMINUM MULLIONS  |

**a.robertmumphy**  
**architect**  
 incorporated  
 1100-2255B queen street east  
 toronto, ontario M4E 1G3  
 Consultant

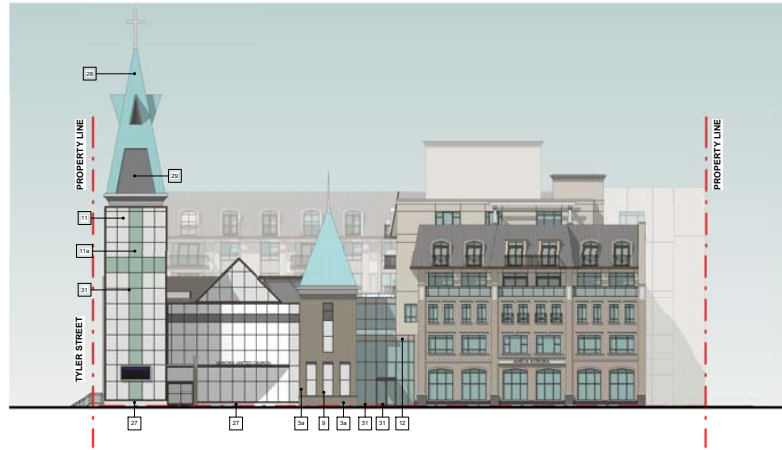
**ONARIO ASSOCIATION OF ARCHITECTS**  
 A SOCIETY INCORPORATED SINCE 1946

Client  
 Amica Senior Lifestyles

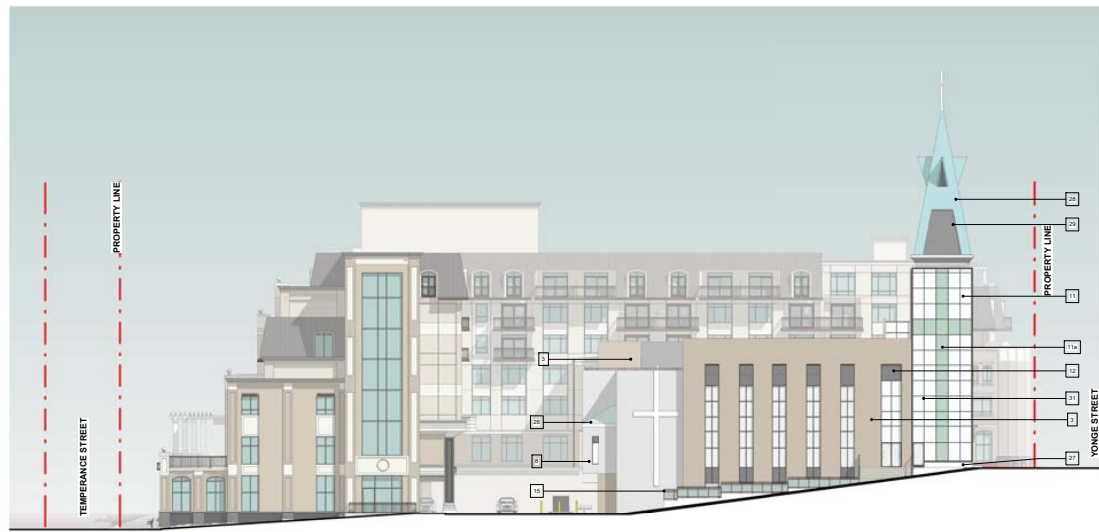
Project  
**AMICA AT AURORA RETIREMENT RESIDENCE**  
 15186 Yonge Street  
 Aurora, ON

Drawing Title  
 East & South Church Elevations

|                       |                   |
|-----------------------|-------------------|
| City File No.         | Project No.       |
| Date<br>2019 10 11    | 2016 Aurora Yonge |
| Scale<br>As indicated | Drawing No.       |
| Drawn By<br>NQ        | Checked By<br>RM  |
| File Name             | <b>A3-03</b>      |

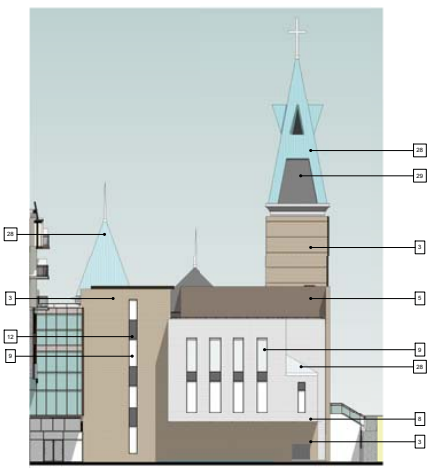


① YONGE STREET ELEVATION (EAST)  
 1 : 200



② TYLER STREET ELEVATION (SOUTH)  
 1 : 200





① TEMPERANCE STREET ELEVATION (WEST)  
 1 : 200



② NORTH ELEVATION - CHURCH  
 1 : 200

**MATERIALS LEGEND**

|     |  |
|-----|--|
| 1   | MASONRY - SMOOTH FINISH - GREY   |
| 2   | MASONRY - RUSTICATED FINISH - GREY   |
| 3   | MASONRY - SMOOTH FINISH - BEIGE  |
| 3A  | MASONRY - RUSTICATED FINISH - BEIGE  |
| 4   | EXTERIOR INSULATION & FINISH SYSTEM (EFS) - LIGHT SHADE                          |
| 5   | EXTERIOR INSULATION & FINISH SYSTEM (EFS) - MEDIUM SHADE                         |
| 6   | EXTERIOR INSULATION & FINISH SYSTEM (EFS) - DARK SHADE                           |
| 7   | MASONRY - YELLOW   |
| 8   | MASONRY - CREAM  |
| 9   | DOUBLE GLAZED THERMALLY BROKEN WINDOW W/ PREFINISHED ALUMINUM FRAME              |
| 10  | DOUBLE GLAZED THERMALLY BROKEN DOOR W/ PREFINISHED ALUMINUM FRAME                |
| 11  | DOUBLE GLAZED THERMALLY BROKEN CURTAIN WALL W/ PREFINISHED ALUMINUM FRAME        |
| 12  | TINTED DOUBLE GLAZED THERMALLY BROKEN CURTAIN WALL W/ PREFINISHED ALUMINUM FRAME |
| 13  | INSULATED METAL PANEL  |
| 13A | PREFINISHED STANDING BEAM METAL ROOF   |
| 14  | PREFINISHED ALUMINUM GUARD RAIL  |
| 15  | PREFINISHED ALUMINUM GUARD RAIL C/W TEMPERED FROSTED GLASS PANELS                |
| 16  | PREFINISHED ALUMINUM FASCIA  |
| 17  | PREFINISHED ALUMINUM FASCIA & GUTTER   |
| 18  | PREFINISHED ALUMINUM FLASHING  |
| 19  | DECORATIVE CROWN MOULDING  |
| 20  | PRECAST CONCRETE COPING  |
| 21  | PRECAST MOULDING   |
| 22  | INSULATED METAL DOOR IN THERMALLY BROKEN METAL FRAME - PAINTED                   |
| 23  | INSULATED OVERHEAD SECTIONAL DOOR IN THERMALLY BROKEN METAL FRAME - PAINTED      |
| 24  | STEEL FRAMING - POWDER COATED  |
| 25  | CONCRETE PLASTER CAPITAL   |
| 26  | EFS PLASTER CAPITAL CLADDING   |
| 27  | CEMENT PARKING   |
| 28  | STANDING BEAM METAL (CORNER) ROOF  |
| 29  | ALUMINUM PERFORATED SCREENS  |
| 30  | SLOPED GLAZED ROOF   |
| 31  | ALUMINUM MALLIONS  |

The client and designer are not to be held responsible for the accuracy of the information provided in this document. The client and designer shall be responsible for all information and conditions on the job and the client shall be informed of any conditions from the drawings and conditions shown on the drawings.

| ISSUES & REVISIONS |            |                |    |
|--------------------|------------|----------------|----|
| No.                | DATE       | ISSUED BY      | BY |
| 1                  | 2019 10 11 | ISSUED FOR BIA | MM |

**a.robertmumphy**  
**architect**  
 incorporated  
 1100-2255B queen street east  
 toronto, ontario M4E 1G3  
 Consultant



Client  
 Amica Senior Lifestyles

Project  
**AMICA AT AURORA**  
 RETIREMENT RESIDENCE  
 15186 Yonge Street  
 Aurora, ON

Drawing Title  
 North & West Church  
 Elevations

|                       |                       |
|-----------------------|-----------------------|
| City File No.         | Project No.           |
| Date<br>2019 10 11    | 2016 Aurora Yonge     |
| Scale<br>As indicated | Drawing No.           |
| Drawn By<br>Author    | Checked By<br>Checker |
| File Name             | <b>A3-04</b>          |

AMICSR16-020916A



100 John West Way, Box 1000,  
Aurora, ON L4G 6J1  
Phone: 905-727-3123 Ext. 4346  
Email: [slapenna@aurora.ca](mailto:slapenna@aurora.ca)  
[www.aurora.ca](http://www.aurora.ca)

**Planning and Development Services**

**INTERNAL MEMORANDUM**

**DATE:** December 23, 2019

**TO:** B. Butler, Planning & Development Services Engineer  
G. Greidanus, Operations – Parks  
S. Sample, Building Division  
M. Bat, Engineering & Capital Delivery Division  
C. Tsang, Heritage Planning  
M. Zawada, Accessibility Advisor  
G. Zinck, Waste/Recycling Coordinator

**FROM:** Sean Lapenna, Planning and Development Services

**RE:** **Application for Site Plan Approval**  
**125 Engelhard Drive**  
**Luxury Railings Ltd.**  
**Plan 10328 Lot 45 Pt It 46 RP 65R8036 Part 2**  
**File Number: SP-2019-11**  
**1<sup>st</sup> Submission**

---

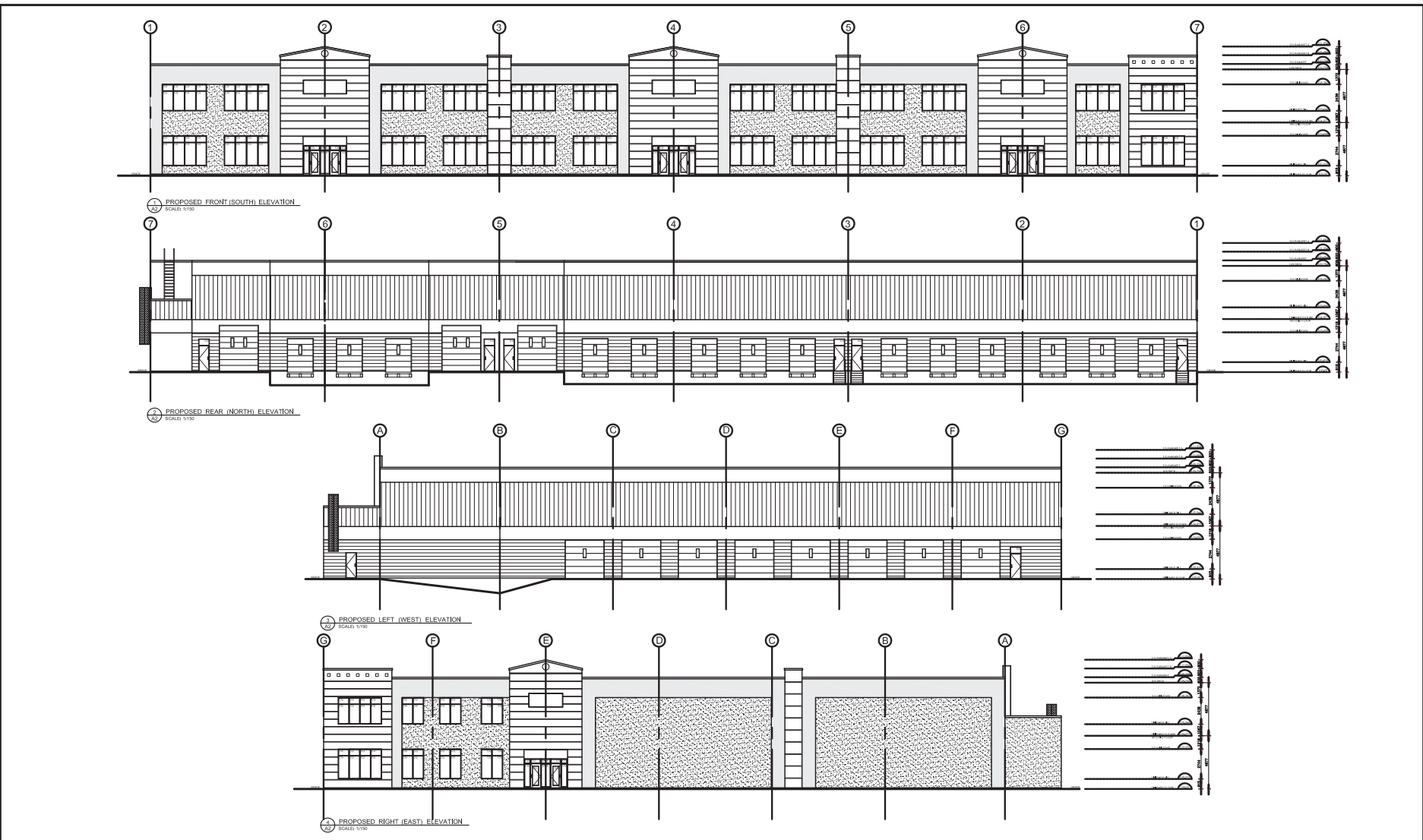
A 1<sup>st</sup> submission has been made to the Planning and Development Services Department for the above noted Site Plan application in order to facilitate the development of a newly proposed Food Processing Establishment with Outdoor Storage. The newly proposed building is intended to be used for storage and preparation for a food eatery distribution business.

Please find attached supporting documents for the above noted application. I would appreciate receiving your comments by **January 28, 2020**. If I have not received your comments by the specified period, I will assume you have no comments or concerns. Should you have any questions, please contact me.

Regards,

A handwritten signature in blue ink that reads "Sean Lapenna".

Sean Lapenna  
Planner  
Planning & Development Services  
Town of Aurora  
[slapenna@aurora.ca](mailto:slapenna@aurora.ca)



**C** CRYSTAL  
**D** DESIGN  
**I** INNOVATION  
**INC**  
 Architectural Building  
 Consultants  
 38 SILVER CREEK, MISSISSAUGA, ONTARIO, L4X 1G2  
 info@cdiinc.com  
 TEL: (905) 566-8079 FAX: (905) 566-0560

DESCRIPTION

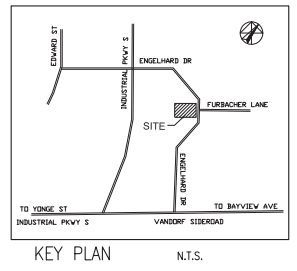
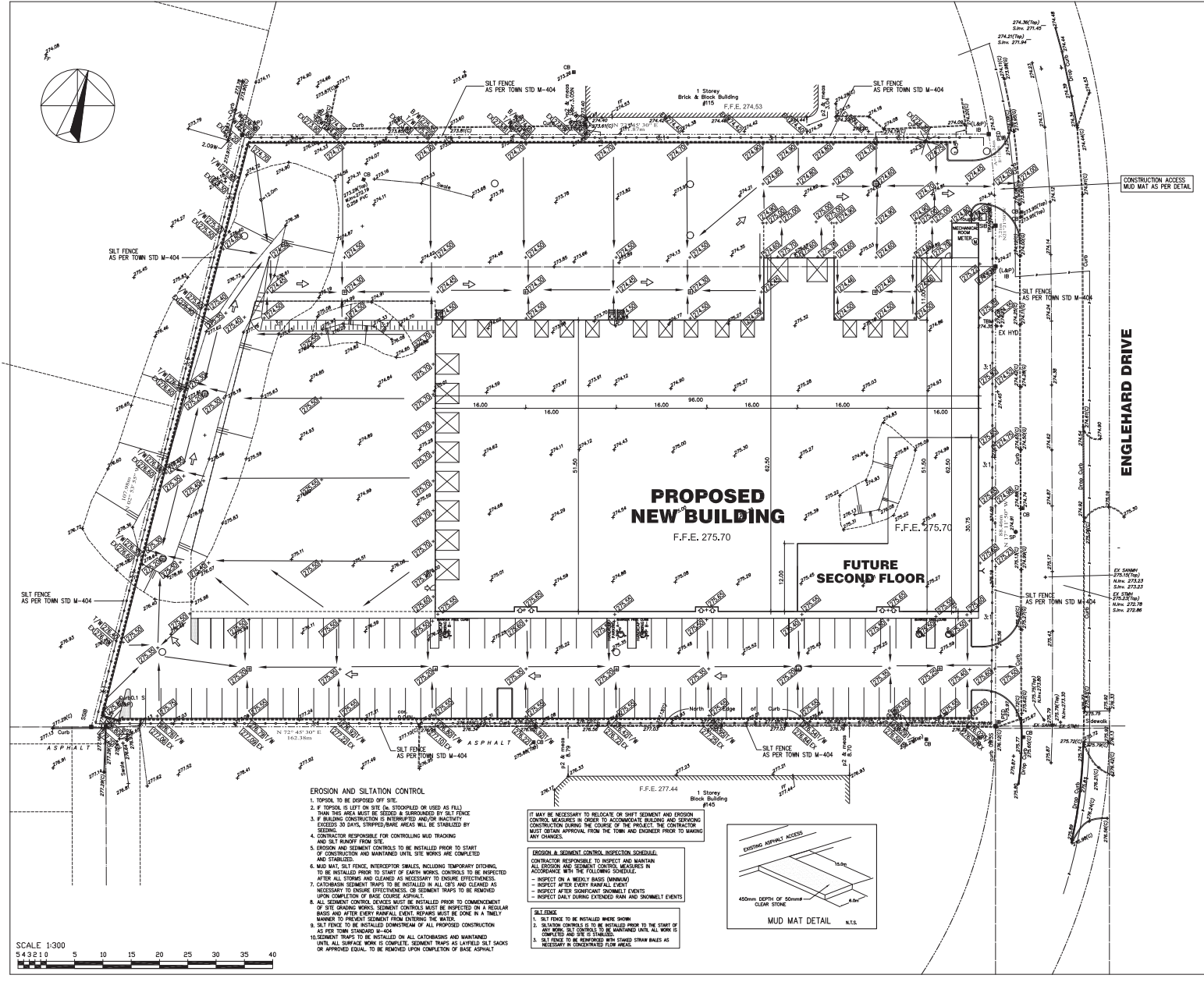
- ISSUED FOR PRELIM. REVIEW
- ISSUED FOR BASIC PERMIT
- ISSUED FOR CONSTRUCTION

| NOTE(S): |      |          |       |
|----------|------|----------|-------|
| NO.      | DATE | REVISION | BY/ID |
|          |      |          |       |
|          |      |          |       |
|          |      |          |       |
|          |      |          |       |
|          |      |          |       |
|          |      |          |       |
|          |      |          |       |
|          |      |          |       |
|          |      |          |       |
|          |      |          |       |

\*\* DO NOT SCALE \*\*  
 CONTRACTOR MUST VERIFY ALL  
 DIMENSIONS PRIOR TO  
 COMMENCEMENT OF THE WORK.  
 ALL PERMITS AND  
 SPECIFICATIONS ARE THE  
 PROPERTY OF THE DESIGNER  
 AND MUST BE RETURNED PRIOR  
 COMPLETION OF THE WORK. THE  
 DRAWINGS ARE NOT TO BE  
 USED FOR ANY OTHER PROJECT  
 OTHER THAN THE ONE  
 ASSIGNED WITHOUT THE  
 CONSENT OF THE DESIGNER.

|  |              |
|--|--------------|
| Proposed INDUSTRIAL BLDG.-<br>125 ENSLEHARD DRIVE<br>AURORA, ONTARIO<br>FILE NO. ***** |              |
| 1:150  | OCT. 17 2019 |
| PROPOSED<br>ELEVATIONS   | A2           |





**BENCHMARK**  
 ELEVATIONS SHOWN HEREON ARE ACCURATE AND ARE REFERRED TO THE TOWN OF AURORA BENCHMARK #P 205 HAVING A PUBLISHED ELEVATION OF 282.42 METRES.  
 MUD MAT PLATY ON TOP OF CONCRETE WEARMASS LOCATED AT THE NORTH WEST CORNER OF VANSDYK ROAD & ENGLAND DRIVE BEING 4.0 M WEST OF CONCRETE CURB OF ENGLAND DRIVE.

| DATE | Revision | Initial |
|------|----------|---------|
|      |          |         |
|      |          |         |
|      |          |         |
|      |          |         |
|      |          |         |
|      |          |         |
|      |          |         |
|      |          |         |
|      |          |         |



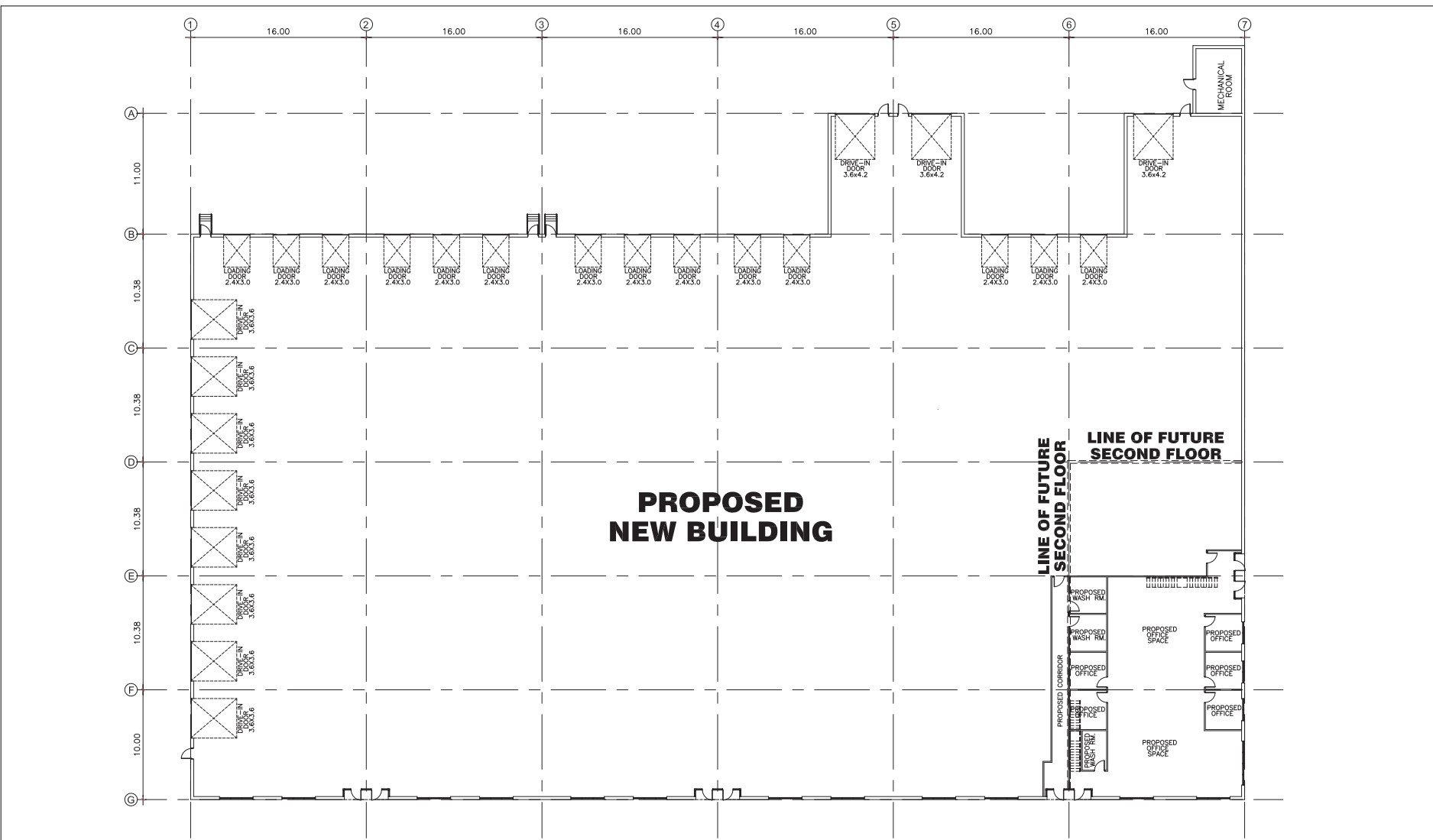
The position of pole lines, conduits, watermain, sewers and other underground and above ground utilities and structures are not necessarily shown on the contract drawings, and where shown, the accuracy of the position of such utilities and structures is not guaranteed. Before starting work, the Contractor shall confirm the exact location of all such utilities and structures, and shall assume all liability for damage to them.

Consulting Engineering Services • Land Development  
**SCHAD ENGINEERING**  
 45 APPLETON DRIVE, ORANGEVILLE, ONTARIO L9W6K9  
 BILL SCHAD, P.ENG. Tel:(519)-806-6656

Project Title  
**PROPOSED INDUSTRIAL BUILDING**  
 FOR: AURORA INVESTMENTS INC.  
 AT: 125 ENGLAND DRIVE  
 TOWN OF AURORA

Sheet Title  
**EROSION & SEDIMENT CONTROL PLAN**

Scale: 1:300 Date: SEPT 2019 Drawn by: WUG File: 2019-05 Drawing Number: ESC: PLOT 1 : 300



**CITYSCAPE DESIGN INNOVATION Inc**  
 Architectural Building Consultants  
 30 SELWICK CIRCLE, REXBURG, ONTARIO, L8H 0E2  
 Tel: 905-882-8888  
 Fax: 905-882-8889

CONVENTION

- SOLED FOR PRELIM REVIEW
- SOLED FOR FINAL REVIEW
- SOLED FOR CONSTRUCTION



| NOTE(S) |      |          |
|---------|------|----------|
| NO.     | DATE | REVISION |
|         |      |          |
|         |      |          |
|         |      |          |
|         |      |          |
|         |      |          |
|         |      |          |
|         |      |          |
|         |      |          |
|         |      |          |
|         |      |          |

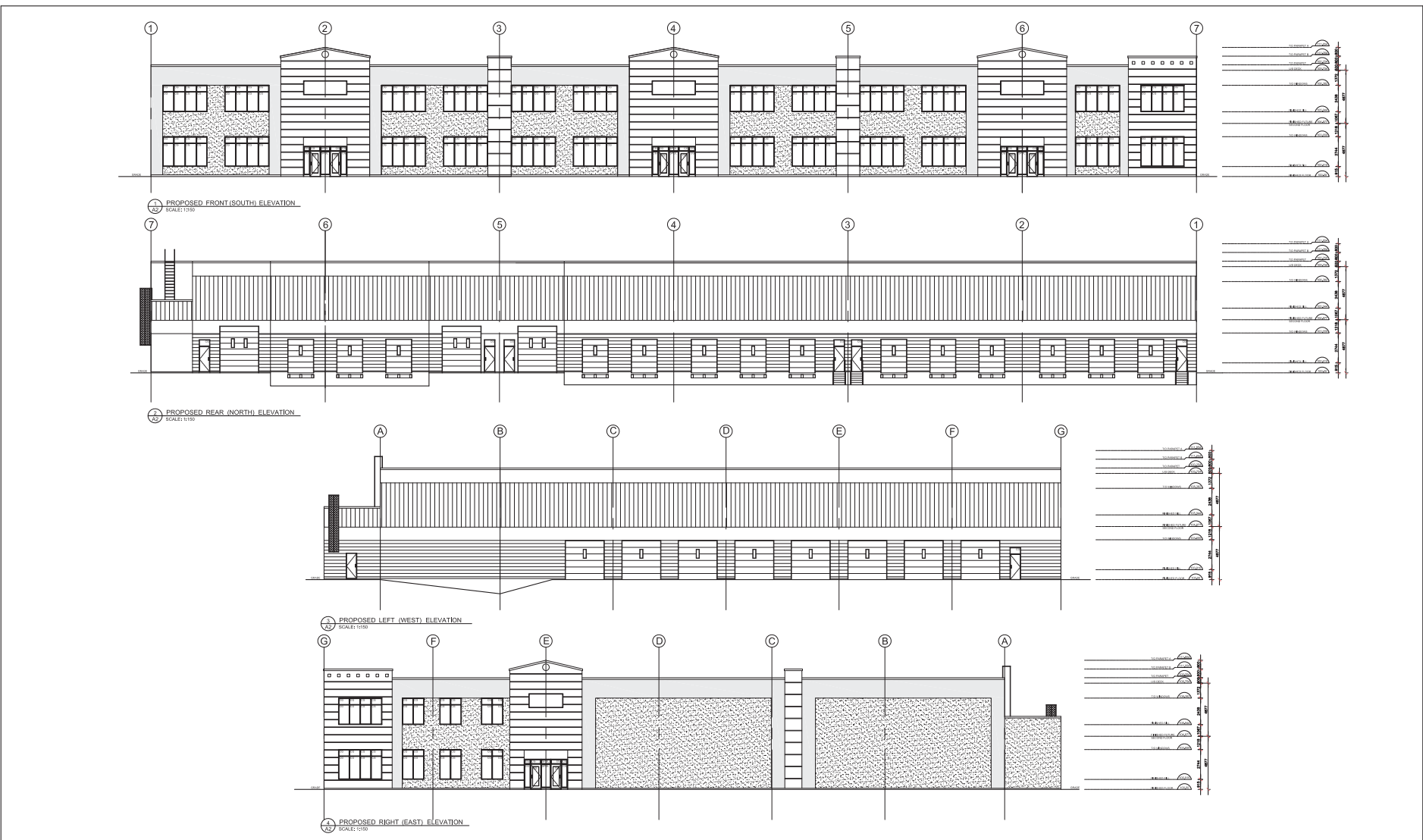
\*\*\* DO NOT SCALE \*\*\*  
 CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. ALL PERMITS AND NOTIFICATIONS ARE THE RESPONSIBILITY OF THE DESIGNER AND MUST BE OBTAINED PRIOR TO COMMENCEMENT OF THE WORK. THE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT OTHER THAN THE ONE ASSIGNED WITHOUT THE CONSENT OF THE DESIGNER.

PROPOSED INDUSTRIAL BLDG.  
 126 ENCELHARD DRIVE  
 AURORA, ONTARIO  
 FILE NO. \*\*\*\*\*

Scale: 1:150 Date: OCT. 17 2019

PROPOSED FLOOR PLAN

Sheet Number: A1



**CITYSCAPE DESIGN INNOVATION INC.**  
 Architectural Building Consultants  
 30 SELWYN CRESC. MISSISSAUGA, ONTARIO, L4V 1R2  
 Tel: (905) 876-8888  
 Fax: (905) 876-8889

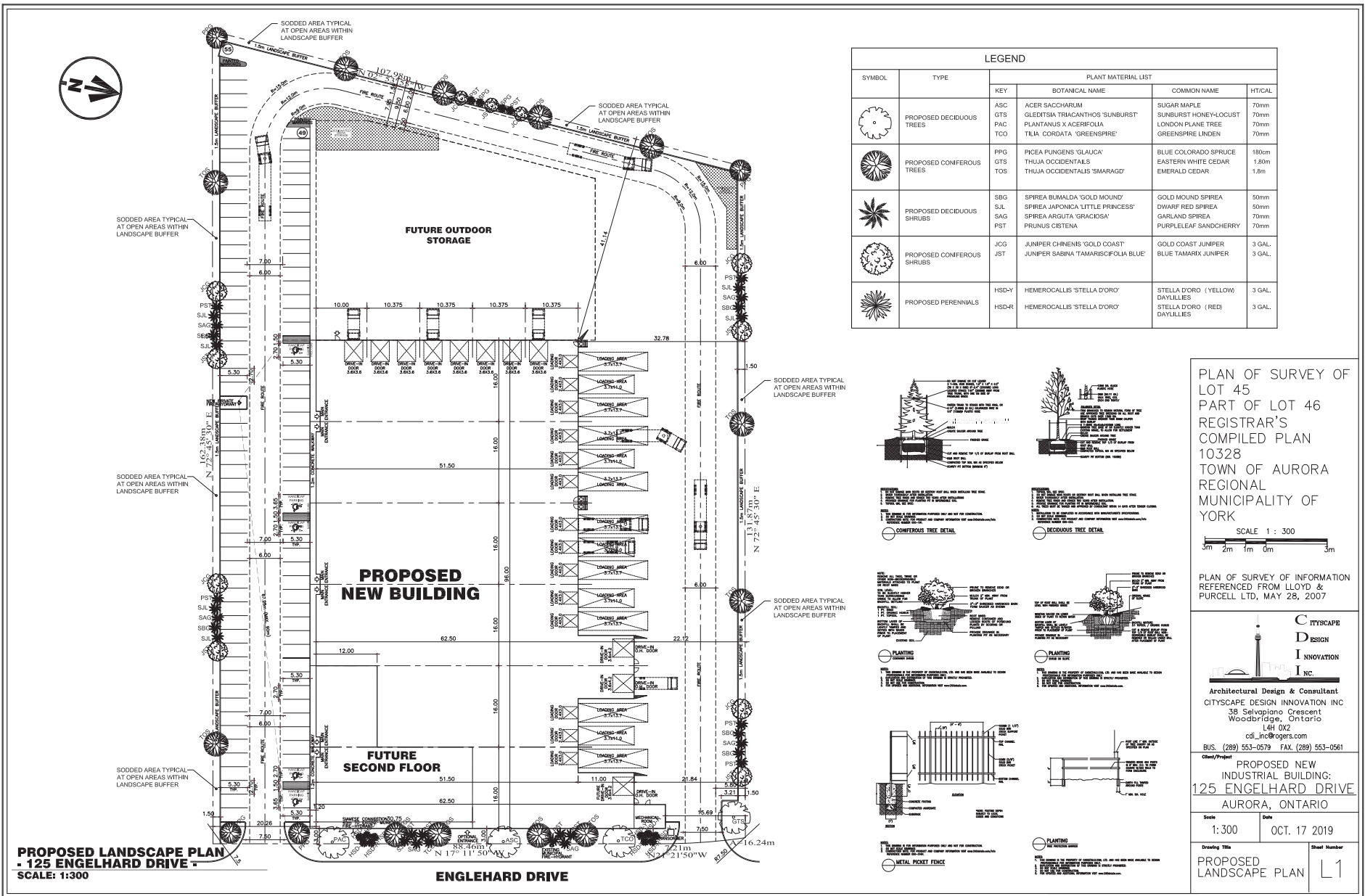
**CONVENTION**

- ISSUED FOR PRELIM REVIEW
- ISSUED FOR FINAL REVIEW
- ISSUED FOR CONSTRUCTION

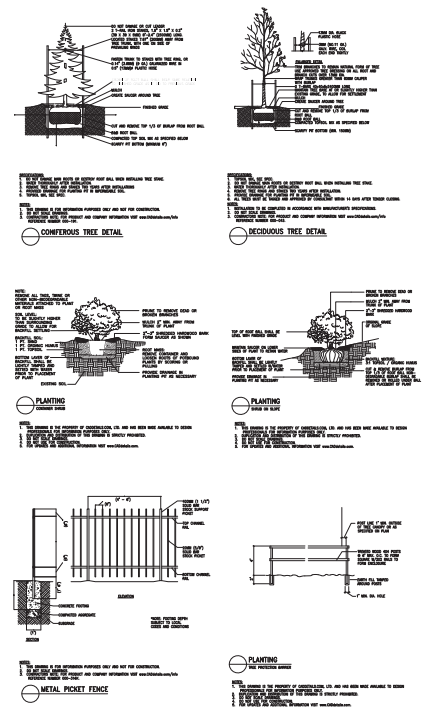
| NOTE(S) |      |          |
|---------|------|----------|
| NO.     | DATE | REVISION |
|         |      |          |
|         |      |          |
|         |      |          |
|         |      |          |
|         |      |          |
|         |      |          |
|         |      |          |
|         |      |          |
|         |      |          |
|         |      |          |

**\*\* DO NOT SCALE \*\***  
 CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. ALL PERMITS AND NOTIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RECEIVED PRIOR TO COMMENCEMENT OF THE WORK. THE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

|   |                    |
|---|--------------------|
| PROPOSED INDUSTRIAL BLDG.<br>126 ENCELHARD DRIVE<br>AURORA, ONTARIO<br>FILE No. ***** |                    |
| Date: 1:150   | Date: OCT. 17 2019 |
| Project: PROPOSED ELEVATIONS  | Sheet: A2          |



| LEGEND   |                            |                     |                                      |                       |        |
|----------|----------------------------|---------------------|--------------------------------------|-----------------------|--------|
| SYMBOL   | TYPE                       | PLANT MATERIAL LIST |                                      |                       |        |
|          |                            | KEY                 | BOTANICAL NAME                       | COMMON NAME           | HTICAL |
| [Symbol] | PROPOSED DECIDUOUS TREES   | ASC                 | ACER SACCHARUM                       | SUGAR MAPLE           | 70mm   |
|          |                            | GTS                 | GLEDITSIA TRIACANTHOS 'SUNBURST'     | SUNBURST HONEYLOCUST  | 70mm   |
|          |                            | TCC                 | PLATANUS X ACERIFOLIA                | LONDON PLANE TREE     | 70mm   |
| [Symbol] | PROPOSED CONIFEROUS TREES  | PPG                 | PICEA PUNGENS 'GLAUCO'               | BLUE COLORADO SPRUCE  | 180cm  |
|          |                            | GTS                 | THUJA OCCIDENTALIS                   | EASTERN WHITE CEDAR   | 1.80m  |
|          |                            | TOS                 | THUJA OCCIDENTALIS 'SMARAGD'         | EMERALD CEDAR         | 1.6m   |
| [Symbol] | PROPOSED DECIDUOUS SHRUBS  | SBG                 | SPIREA BIMALDA 'GOLD MOUND'          | GOLD MOUND SPIREA     | 50mm   |
|          |                            | SJL                 | SPIREA JAPONICA 'LITTLE PRINCESS'    | DWARF RED SPIREA      | 50mm   |
|          |                            | SAG                 | SPIREA ARGUTA 'GRACIOSA'             | GARLAND SPIREA        | 70mm   |
| [Symbol] | PROPOSED CONIFEROUS SHRUBS | JCG                 | JUNIPER CHINENSIS 'GOLD COAST'       | GOLD COAST JUNIPER    | 3 GAL. |
|          |                            | JST                 | JUNIPER SABINA 'TAMARISCIFOLIA BLUE' | BLUE TAMARIX JUNIPER  | 3 GAL. |
|          |                            |                     |                                      |                       |        |
| [Symbol] | PROPOSED PERENNIALS        | HSD-Y               | HEMEROCALLIS 'STELLA D'ORO'          | STELLA D'ORO (YELLOW) | 3 GAL. |
|          |                            | HSD-R               | HEMEROCALLIS 'STELLA D'ORO'          | STELLA D'ORO (RED)    | 3 GAL. |



PLAN OF SURVEY OF LOT 45  
 PART OF LOT 46  
 REGISTRAR'S  
 COMPILED PLAN  
 10328  
 TOWN OF AURORA  
 REGIONAL  
 MUNICIPALITY OF YORK

SCALE 1 : 300  
 3m 2m 1m 0m 3m

PLAN OF SURVEY OF INFORMATION  
 REFERENCED FROM LOYD &  
 PURCELL LTD, MAY 28, 2007

**CITYSCAPE  
 DESIGN  
 INNOVATION  
 INC.**

Architectural Design & Consultant  
 CITYSCAPE DESIGN INNOVATION INC  
 38 Selvopiano Crescent  
 Woodbridge, Ontario  
 L4B 0Y2  
 cdi\_inc@rogers.com  
 BUS. (289) 553-0579 FAX. (289) 553-0561

Client/Project  
**PROPOSED NEW  
 INDUSTRIAL BUILDING:  
 125 ENGELHARD DRIVE  
 AURORA, ONTARIO**

Scale  
 1:300

Date  
 OCT. 17 2019

Drawing Title  
**PROPOSED  
 LANDSCAPE PLAN**

Sheet Number  
**L1**

**PROPOSED LANDSCAPE PLAN  
 - 125 ENGELHARD DRIVE -  
 SCALE: 1:300**

PLAN OF SURVEY OF  
 LOT 45  
 PART OF LOT 46  
 REGISTRAR'S  
 COMPILED PLAN  
 10328  
 TOWN OF AURORA  
 REGIONAL  
 MUNICIPALITY OF  
 YORK

SCALE 1 : 300

PLAN OF SURVEY OF INFORMATION  
 REFERENCED FROM LLOYD &  
 PURCELL LTD, MAY 28, 2007

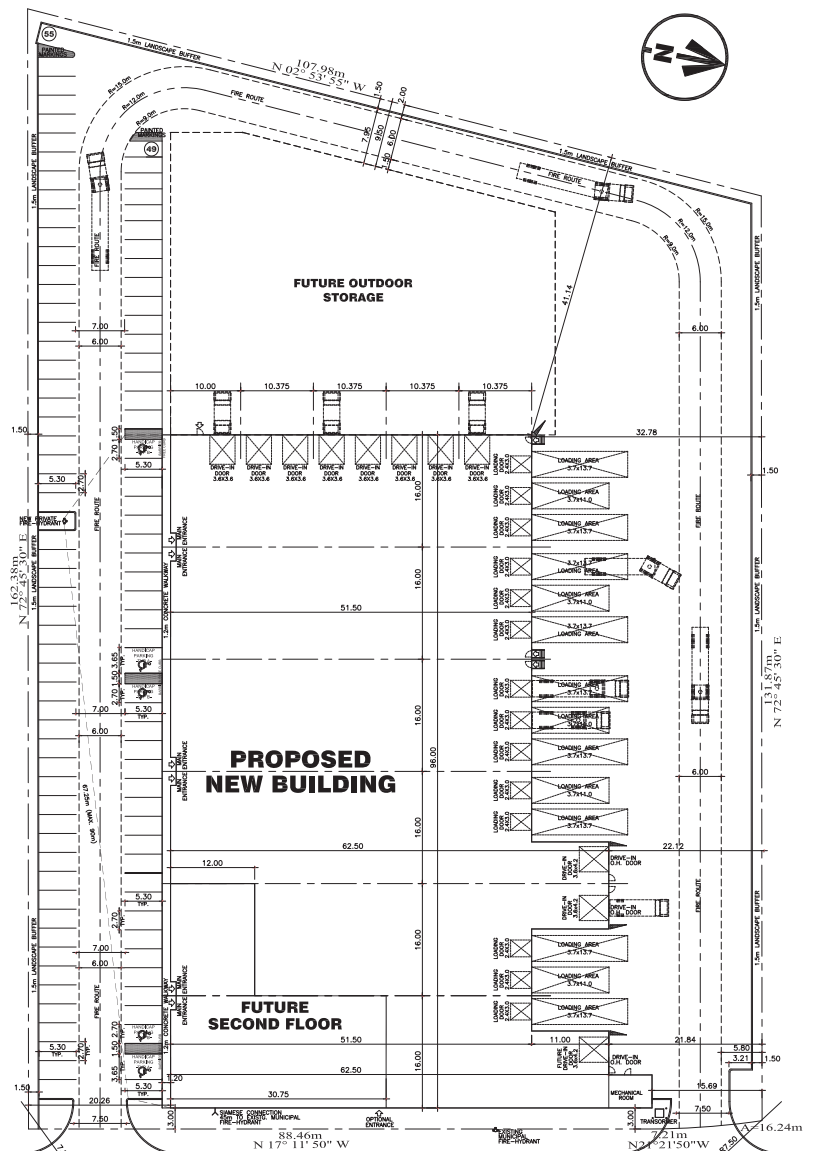
**CITYSCAPE  
 DESIGN  
 INNOVATION  
 INC.**  
 Architectural Design & Consultant  
 CITYSCAPE DESIGN INNOVATION INC  
 38 Selvopiano Crescent  
 Woodbridge, Ontario  
 L4B 0X2  
 cdi\_inc@rogers.com  
 BUS. (289) 553-0579 FAX. (289) 553-0561

PROPOSED NEW  
 INDUSTRIAL BUILDING:  
 125 ENGELHARD DRIVE  
 AURORA, ONTARIO

Scale 1:300 Date OCT. 17 2019

Drawing Title PROPOSED SITE PLAN Sheet Number A0

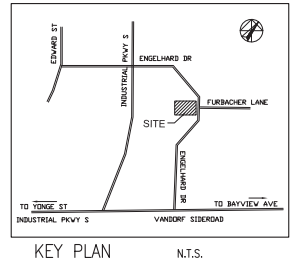
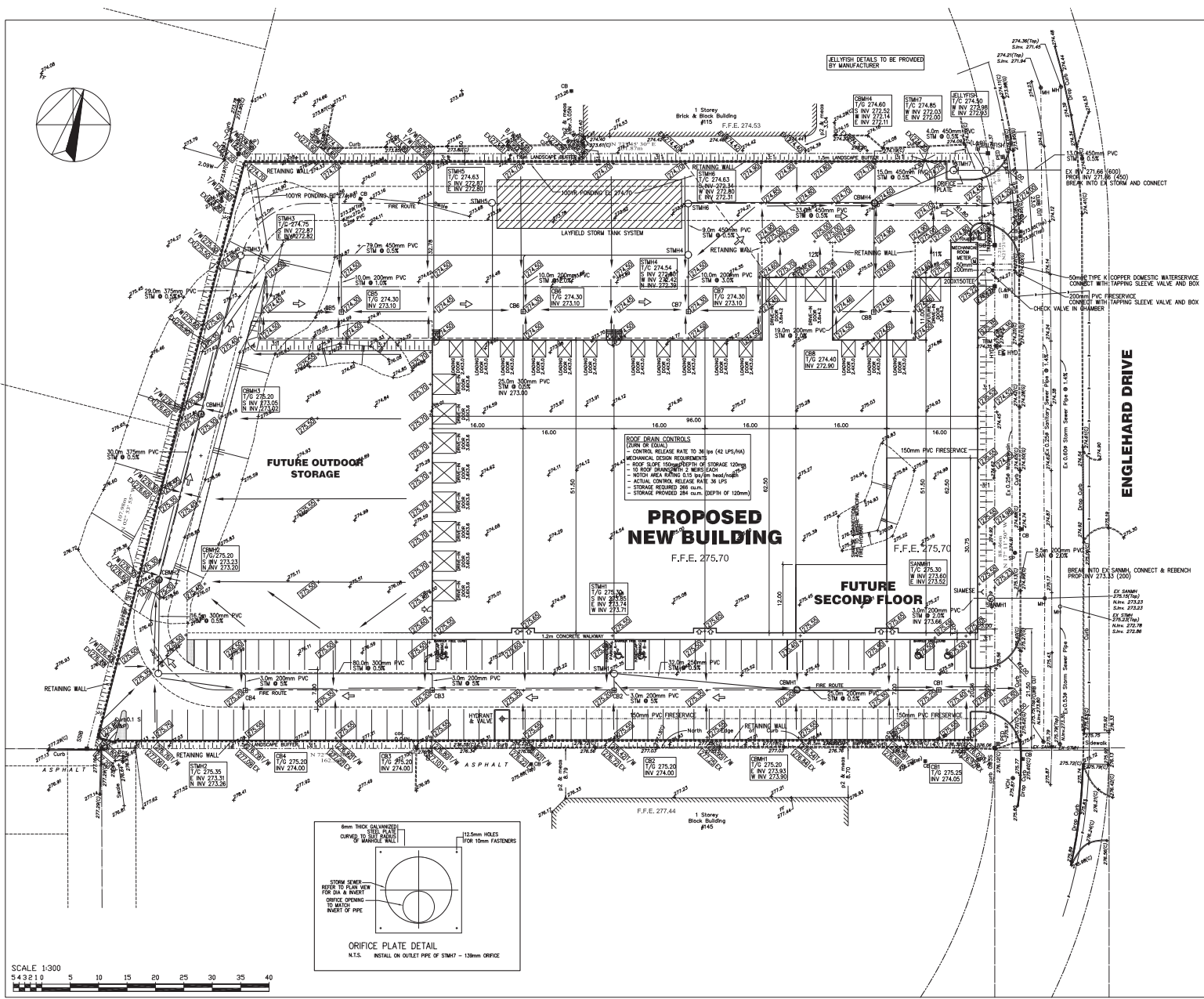
|  |
|--|
| <b>SITE STATISTICS</b><br>EXISTING ZONING DESIGNATION E2-GENERAL EMPLOYMENT<br>PROPOSED ZONING DESIGNATION E2-GENERAL EMPLOYMENT   |
| <b>SITE DATA</b><br>LOT AREA: 18,110 SQ.M. / 1.53 HA / 3.78 AC<br>LOT FRONTAGE: 194.1M<br>BUILDING AREA: 5,214.35 SQ.M. / 652.84 HA / 1.58 AC<br>COVERAGE PERCENTAGE: 34.28%   |
| <b>BUILDING SETBACKS</b><br>FRONT YARD: 3.00M<br>REAR YARD: 4.50M<br>RIGHT SIDE: 10.00M<br>LEFT SIDE: 10.00M<br>BLOCK HEIGHT: 3.00M TOP OF FREIGHT<br>NUMBER OF STORES: 1 FLOOR WITH PARTIAL 2 FLOOR AREA AT FRONT   |
| <b>FLOOR AREA DESIGNATION</b><br>INDUSTRIAL BLDG: 5,214.35 SQ.M.<br>FUTURE SECOND FLOOR: 652.84 SQ.M.  |
| <b>LANDSCAPE STATS</b><br>LANDSCAPE STRIPS: FRONT YARD: 3.00M<br>REAR YARD: 4.50M<br>SIDE YARD: 1.50M<br>LANDSCAPE AREA: FRONT YARD: 318.3 SQ.M.<br>REAR YARD: 187.0 SQ.M.<br>LEFT YARD: 242.7 SQ.M.<br>RIGHT YARD: 108.8 SQ.M.  |
| <b>PARKING DATA</b><br>PARKING SPACE: 7.7m x 5.3m - 110/EA<br>TOTAL SPACES: 121,107 / 100 / 124 / 56,420 = 105 SPACES<br>BARRELS FREE PARKING SPACE: 3.0m x 5.3m<br>- 118 / 56,420 = 0.21 SPACES<br>ACTUAL PARKING SPACES = 105<br>ACTUAL PARKING SPACE = 1,104<br>SERVICE PARKING SPACE REQUIREMENT:<br>- 110/EA (100) = 11,000 SQ.M. @ 1.2 SPACES / 1,000 SQ.M. @ 1.2 SPACES<br>- 124 / 56,420 = 0.21 SPACES @ 1,000 SQ.M. @ 1.2 SPACES<br>- 118 / 56,420 = 0.21 SPACES @ 1,000 SQ.M. @ 1.2 SPACES<br>LOADING SPACE:<br>- 700 / 100 = 7 SPACES @ 1.5m x 3.0m<br>- 100 / 100 = 1 SPACES @ 1.5m x 3.0m<br>- 100 / 100 = 1 SPACES @ 1.5m x 3.0m<br>TOTAL DOORS = 25 |



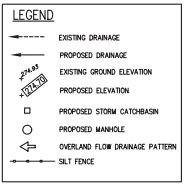
**PROPOSED SITE PLAN  
 - 125 ENGELHARD DRIVE -  
 SCALE: 1:300**

ENGELHARD DRIVE

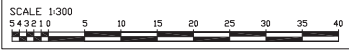
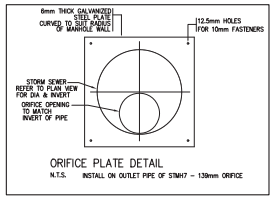




BENCH MARK  
 ELEVATIONS SHOWN HEREON ARE SECTIC AND ARE REFERRED TO THE FORM OF A BENCH MARK  
 AT THIS HAVING A PUBLISHED ELEVATION OF 887.43 METRES.  
 BENCH PLATE ON TOP OF CONCRETE MONUMENT LOCATED AT THE NORTH WEST CORNER OF VANDORF  
 ROAD & ENGLAND DRIVE BEING 4.5 M WEST OF CONCRETE CURB OF ENGLAND DRIVE.



**ROOF DRAIN CONTROLS**  
 (MIN OF EQUAL)  
 CONTROL RELEASE RATE TO 36 l/s (42 LPS/4H)  
 MEDICAL DESIGN REQUIREMENTS  
 - ROOF AREA 100% OF TOTAL STORAGE 100%  
 - ROOF DRAINAGE & MANHOLE  
 - NOTCH AREA RATING 0.15 l/s (IN INCH/IN)  
 - ACTUAL CONTROL RELEASE RATE 36 l/s  
 - STORAGE REQUIRED 266 m<sup>3</sup>  
 - STORAGE PROVIDED 266 m<sup>3</sup> (100% OF 120m<sup>3</sup>)



| DATE | Revision | Initial |
|------|----------|---------|
|      |          |         |
|      |          |         |
|      |          |         |
|      |          |         |

The position of pole lines, conduits, underground sewers and other underground and above ground utilities and structures are not necessarily shown on the contract drawings, and where shown, the accuracy of the position of such utilities and structures is not guaranteed. Before starting work, the Contractor shall confirm the exact location of all such utilities and structures, and shall assume all liability for damage to them.

Consulting Engineering Services • Land Development  
**SCHAD ENGINEERING**  
 43 APPLETON DRIVE, ORANGEVILLE, ONTARIO L9W6K5  
 BILL SCHAD, P.ENG. Tel:(519)-806-8856

Project Title  
**PROPOSED INDUSTRIAL BUILDING**

FOR: AURORA INVESTMENTS INC.  
 AT: 125 ENGLAND DRIVE  
 TOWN OF AURORA

Sheet Title  
**SITE SERVICING & GRADING PLAN**

|       |           |          |         |                |
|-------|-----------|----------|---------|----------------|
| Scale | Date      | Drawn by | File    | Drawing Number |
| 1:300 | SEPT 2019 | NMS      | 2019-05 | SSG1           |

PLLOT 1 OF 300





SCHAD ENGINEERING  
43 APPLETON DRIVE, ORANGEVILLE, ON L9W 5C4  
TEL. 519-806-6656

**STORMWATER MANAGEMENT BRIEF**  
**125 ENGELHARD DRIVE**  
**TOWN OF AURORA**

**1. INTRODUCTION**

The purpose of this report is to address the Stormwater Management requirements imposed on this site by the Town of Aurora in support of the site plan application. The property is located at 125 Engelhard Drive and consists of 1.53 hectare undeveloped infill industrial lot. Based on the topographic survey, the site drains from south to north.

The Rational Method will be used in the analysis of the SWM for this project.

**PROPOSED SITE CONDITIONS**

|                  |         |
|------------------|---------|
| Site Area        | 1.53 ha |
| Building Area    | 0.52 ha |
| Asphalt/Concrete | 0.92 ha |
| Landscape        | 0.09 ha |

**2. SWM CRITERIA – DESIGN :**

- Town of Aurora rainfall intensity curve

$$I = \frac{a}{(t + b)^c}$$

|         |           |       |           |
|---------|-----------|-------|-----------|
| 2 yr.   | a = 647.7 | b = 4 | c = 0.784 |
| 10 yr.  | a = 1021  | b = 4 | c = 0.787 |
| 25 yr.  | a = 1100  | b = 2 | c = 0.776 |
| 50 yr.  | a = 1448  | b = 3 | c = 0.83  |
| 100 yr. | a = 1770  | b = 4 | c = 0.82  |

- The post development flows to be controlled to the pre development rate for all storms from the 1:2 year event up to and including the 1:100 year storm
- Surface and roof top storage to be provided to control flow volumes for storms up to and including 1:100 year post development condition.
- Roof drainage will be controlled to 42 lps/ha by the use of flow control roof drains .
- Surface runoff will be controlled by the installation of orifice plate in STMH 7.
- Water balance requirement – retain 5mm of rainfall on site (by infiltration)
- Storm drainage from the site will outlet to the existing 600 mm storm sewer on Engelhard Drive
- On site storage to be provided to control flow volumes for storms up to and including 1:100 year post development condition
- Based on our review of the topographic survey, it is our understanding that there is no external drainage entering the site



**2.1 Lake Simcoe Protection Plan Policy**

- Water balance budget, volume control
- Under the water budget policy, infiltration practices are not permitted on industrial land use sites, however, infiltration of runoff from the roof top is permitted.
- Propose to infiltrate 25 mm of roof runoff by the use of Langfield Storm Tank system or approved equal method. Detailed design to be provided by Layfield (25mm infiltration to be considered for volume control and water balance).

**2.2 Phosphorous Control**

- A Jelly Fish is proposed to provide water quality control. (TSS removal 80% and 59% total phosphate removal)
- Due to the proposed site plan layout and existing soils condition, the “flexible treatment alternative 2 requirements” will be used (refer to soils report by others)

**3. ROOF CONTROL**

Total Roof Area = 0.52 ha     $Q_{\text{roof allowable}} = 42 \text{ lps/ha}$   
 $Q_{\text{roof allowable}} = 0.52 \times 42 \text{ lps/ha} = 22 \text{ lps or } 0.022 \text{ m}^3/\text{s}$

Use Zurn Flow control roof drains (Z-105-5-ERC or equal) with a notch rating of 0.15 lps/cm head/notch. Maximum ponding depth of 150 mm, roof slope of 200 mm, 6 roof drains with 2 notch/drain and a head of 130mm ( $Q = 27 \text{ lps}$ ).

**ROOF TOP STORAGE (100 year storm)**

- $Q_{\text{roof out}} = 22 \text{ lps or } 0.022 \text{ m}^3/\text{s}$
- $Q_{\text{roof in}} = 0.52 \times 0.9 \times I_{100} \times 1/360$

| Time (min) | $I_{100}$ (mm/hr) | $Q_{\text{In}}$ ( $\text{m}^3/\text{s}$ ) | $\text{Vol}_{\text{In}}$ ( $\text{m}^3$ ) | $Q_{\text{Out}}$ ( $\text{m}^3/\text{s}$ ) | $\text{Vol}_{\text{Out}}$ ( $\text{m}^3$ ) | Storage ( $\text{m}^3$ ) |
|------------|-------------------|---|---|--|--|--------------------------|
| 15         | 158.27            | .206                                      | 185                                       | .022                                       | 20   | 164                      |
| 20         | 130.68            | .170                                      | 204                                       | .022                                       | 26   | 176                      |
| 30         | 98.211            | .128                                      | 230                                       | .022                                       | 40   | 189                      |
| 40         | 79.495            | .103                                      | 248                                       | .022                                       | 53   | 193                      |
| 50         | 67.206            | .087                                      | 262                                       | .022                                       | 66   | 193*                     |
| 60         | 58.466            | .076                                      | 272                                       | .022                                       | 79   | 189                      |
| 70         | 51.904            | .067                                      | 283                                       | .022                                       | 92   | 186                      |
| 80         | 46.780            | .061                                      | 292                                       | .022                                       | 106  | 182                      |
| 90         | 42.659            | .055                                      | 299                                       | .022                                       | 119  | 175                      |

Roof storage required  $193 \text{ m}^3$

Roof storage provided =  $(5200 \times .15/20 \times .15 \times 1/3) = 195 \text{ m}^3$

**4. ORIFICE SIZE – STMH 7**

$$Q = CA(2gh)^{0.5}$$

1:2 Year Predevelopment Flow

$$A = 1.53 \text{ ha} \quad C = 0.25 \quad T_c = 15 \text{ min} \quad I_2 = 64.322 \text{ mm/hr}$$

$$Q_{2pre} = Q_{\text{site controlled}} = 1.53 \times 0.25 \times 64.322 \times 1/360 = 0.68 \text{ m}^3/\text{s}$$

$$Q_{\text{Site Controlled}} = 0.068 \text{ m}^3/\text{s}$$

$$h = 274.70 - 272.00 = 2.70 \text{ (ponding elev. 274.70)}$$

$$0.068 = 0.62A(2 \times 9.81 \times 2.70)^{0.5}$$

$$A = 0.015 \text{ m}^2$$

$$D = 0.139 \text{ m or } 139 \text{ mm diameter}$$

**5. SURFACE STORAGE**

$$Q_{\text{surface controlled}} = Q_{\text{site controlled}} - Q_{\text{roof controlled}} = 0.068 - (0.022) = 0.046 \text{ m}^3/\text{s}$$

$$C_{\text{surface comp.}} = \frac{0.92 \times 0.9 + 0.09 \times 0.25}{1.01} = 0.84$$

Asphalt/concrete = 0.92 ha  
Landscape = 0.09 ha

$$Q_{\text{in}} = 1.01 \times 0.84 \times I_{100} \times 1/360$$

$$Q_{\text{out}} = 0.046 \text{ m}^3/\text{s}$$

| Time<br>min | Intensity<br>(mm/hr) | Q <sub>in</sub><br>(m <sup>3</sup> /s) | VOL <sub>in</sub><br>(m <sup>3</sup> ) | Q <sub>out</sub><br>(m <sup>3</sup> /s) | VOL <sub>out</sub><br>(m <sup>3</sup> ) | Storage<br>(m <sup>3</sup> ) |
|-------------|----------------------|--|--|---|---|------------------------------|
| 15          | 158.27               | .373                                   | 336                                    | 0.046                                   | 41                                      | 296                          |
| 20          | 130.68               | .308                                   | 370                                    | 0.046                                   | 55                                      | 315                          |
| 30          | 98.211               | .231                                   | 417                                    | 0.046                                   | 83                                      | 334                          |
| 40          | 79.495               | .187                                   | 450                                    | 0.046                                   | 110                                     | 340*                         |
| 50          | 67.206               | .158                                   | 475                                    | 0.046                                   | 138                                     | 337                          |
| 60          | 58.466               | .138                                   | 496                                    | 0.046                                   | 166                                     | 330                          |

Storage Required    340 m<sup>3</sup>  
Storage Provided    395 m<sup>3</sup>

**6. WATER BUDGET**

Under the water budget policy, infiltration practices are not permitted on industrial land use sites, however, runoff from the roof top is permitted. Therefore, a Layfield Storm Tank system or equivalent will be provided to infiltrate 25 mm of roof runoff for the water budget requirement.

Design of the Storm Tank System will be prepared and provided by Layfield for review and approval by the Town and LSRCA.

**7. WATER QUALITY AND PHOSPHORUS CONTROL**

Water quality and phosphorus control will be provided by the use of a Jellyfish. Design of the Jellyfish will be prepared and provided by the manufacturer for review and approval by the Town and LSRCA. Jellyfish will provide TSS removed 80% and 59% total phosphate removal

**8. OVERLAND FLOWS AND EMERGENCY OUTLET**

In the event of a storm exceeding the 1:100 year event, or a blockage of the outlet, the maximum ponding depth would be 0.40 m in the loading dock area. Emergency overland flows will be directed towards Engelhard Drive..

**10. EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION**

- The following erosion and sediment control measures are to be installed prior to construction and maintained until surface works are complete and the site is stabilized.
- Silt fencing around east limit of the site
- Siltation control filters for catchbasins
- Mad mat to be provided at the construction entrance
- Regular inspection and maintenance to ensure effectiveness of controls

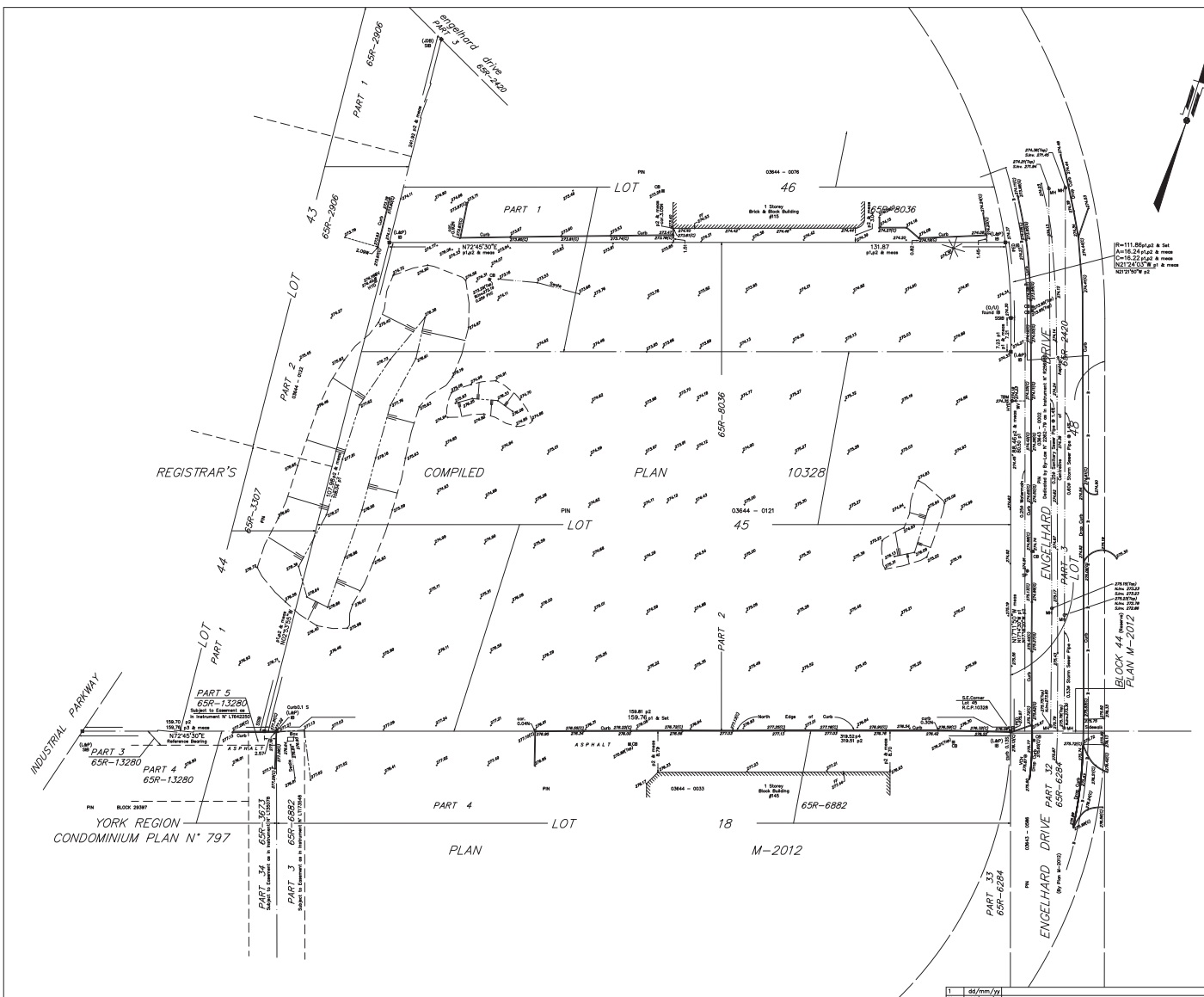
We feel that the proposed storm drainage plan meets the storm water management criteria imposed on this site by the Town and hereby submit this report for your review and approval in support of the site plan application.

Prepared By,



Bill Schad, P.Eng.  
**FOR SCHAD ENGINEERING**





PLAN OF SURVEY OF  
LOT 45  
PART OF LOT 46  
REGISTRAR'S COMPILED PLAN 10328  
TOWN OF AURORA  
REGIONAL MUNICIPALITY OF YORK

LLOYD & PURCELL LTD., SCALE 1 : 400  
10 8 6 4 2 0 10 20 Metres

**BENCH MARK**  
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO THE TOWN OF AURORA BENCHMARK N° 2355 HAVING A PUBLISHED ELEVATION OF 281.912 METRES.  
BRONZE PLATE ON TOP OF CONCRETE MONUMENT LOCATED AT THE NORTH WEST CORNER OF VANDORF ROAD & ENGELHART DRIVE BEING 4.5 M WEST OF CONCRETE CURB OF ENGELHART DRIVE.

**METRIC**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

- LEGEND**
- TOP OF BACK OF CURB
  - CUTTER
  - CATCH BASIN
  - FIRE HYDRANT
  - MARK HOLE
  - BELL PEDESTAL
  - SOFT POST
  - VALVE CHAMBER
  - WATER VALVE
  - POLYVINYL CHLORIDE PIPE
  - DIAMETER
  - CONIFEROUS TREE (SPREAD)
  - TOP OF SLOPE
  - TOE OF SLOPE
  - SURVEY MONUMENT FOUND
  - SURVEY MONUMENT SET
  - STANDING IRON BARR
  - IRON BARR
  - TEMPORARY BENCH MARK
  - ORIGIN UNKNOWN
  - CORNER
  - LLOYD & PURCELL LTD.
  - J.D. BARNES LIMITED
  - PLAN 65R-13280
  - PLAN OF SURVEY BY J.D. BARNES LIMITED
  - DATED JANUARY 4, 1989, FILED AS 88-22-454-0.
  - PLAN 65R-3307
  - PLAN 65M-2012

**NOTE**  
UNDERGROUND SERVICE/UTILITY INFORMATION HAS BEEN DERIVED FROM AVAILABLE PUBLIC UTILITY AND MUNICIPAL RECORDS AND MUST BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.  
TOPOGRAPHIC OBSERVATIONS SHOWN HEREON COMPLETED ON MAY 28, 2007.  
UNLESS OTHERWISE SHOWN, THIS (---) DERIVED FROM BELL CANADA MUNICIPAL OPERATION DEPARTMENT'S PLANT LOCATION DRAWING #13724.

**BEARING REFERENCE**  
BEARINGS ARE ASTROMONIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF LOTS 44 AND 45 REGISTRAR'S COMPILED PLAN 10328 AS SHOWN PLAN OF SURVEY BY J.D. BARNES LIMITED DATED JANUARY 4, 1988 HAVING A BEARING OF N72°45'30".

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 28th DAY OF MAY 2007.  
JUNE 20, 2007  
ONTARIO LAND SURVEYOR  
NO ONE MAY COPY, REPRODUCE, REVERSE OR ALTER THIS PLAN WITHOUT THE WRITTEN PERMISSION OF LLOYD & PURCELL LTD., BARRISTER AND SOLICITORS.

NOTE: THE LOCATION OF THE NORTH EDGE OF CURB RELATED TO THE SOUTHERLY BOUNDARY.  
EASEMENTS - NONE REGISTERED.  
THIS REPORT WAS PREPARED FOR AURORA CABLE TV LIMITED AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

LLOYD & PURCELL LTD.  
ONTARIO LAND SURVEYORS  
1228 GORHAM STREET, UNIT 28, NEWMARKET, ONTARIO, L3Y 8Z1  
(905) 895-6416 Fax (905) 853-2837 E-MAIL: info@lloydandpurcell.com  
Toronto Line (905) 478-6500 Fax (905) 479-6515  
WWW.LLOYDANDPURCELL.COM



|     |          |
|-----|----------|
| 1   | ds/mm/yy |
| No. | ds/mm/yy |

|          |            |                   |
|----------|------------|-------------------|
| CAD: RLS | PC: 2      | JOB: 07-249       |
| CALC: B  | CHK'D: KST | FILE: A2-10328-45 |



100 John West Way, Box 1000,  
Aurora, ON L4G 6J1  
Phone: 905-727-3123 Ext. 4346  
Email: slapenna@aurora.ca  
www.aurora.ca

**Planning and Development Services**

**INTERNAL MEMORANDUM**

**DATE:** December 20, 2019

**TO:** B. Butler, Planning & Development Services Engineer  
G. Greidanus, Operations – Parks  
S. Sample, Building Division  
M. Bat, Engineering & Capital Delivery Division  
C. Tsang, Heritage Planning  
M. Zawada, Accessibility Advisor  
G. Zinck, Waste/Recycling Coordinator

**FROM:** Sean Lapenna, Planning and Development Services

**RE:** **Applications for an Official Plan Amendment, Zoning By-law Amendment and Draft Plan of Subdivision**  
**306, 370, 434 & 488 St. John's Sideroad West**  
**File Numbers: OPA-2018-01, ZBA-2018-02 & SUB-2018-02**  
**3<sup>rd</sup> Submission**

---

A 3<sup>rd</sup> submission has been made to the Planning and Development Services Department for the above noted Official Plan Amendment, Zoning By-law Amendment and Draft Plan of Subdivision applications in order to facilitate the following development:

- Block 1: A future residential development consisting 91 single-family dwellings along a private condominium road (7.95 ha.);
- Block 2: A Landscape Buffer (0.18 ha);
- Block 3: A Landscape Buffer (0.25 ha);
- Block 4: Road Widening (0.40 ha);
- Block 5: Open Space (0.69 ha);
- Block 6: Stormwater Management pond (0.28 ha);
- Block 7: Natural Heritage System (1.28 ha); and
- A 10 m landscaped buffer along the western edge of the property line.

Please find attached supporting documents for the above noted application. I would appreciate receiving your comments by **January 27, 2020**. If I have not received your comments by the specified period, I will assume you have no comments or concerns. Should you have any questions, please contact me.

Regards,

A handwritten signature in blue ink that reads "Sean Lapenna".



Sean Lapenna  
Planner  
Town of Aurora  
Planning and Development Services

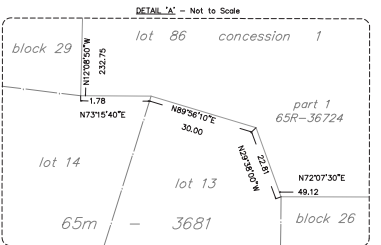
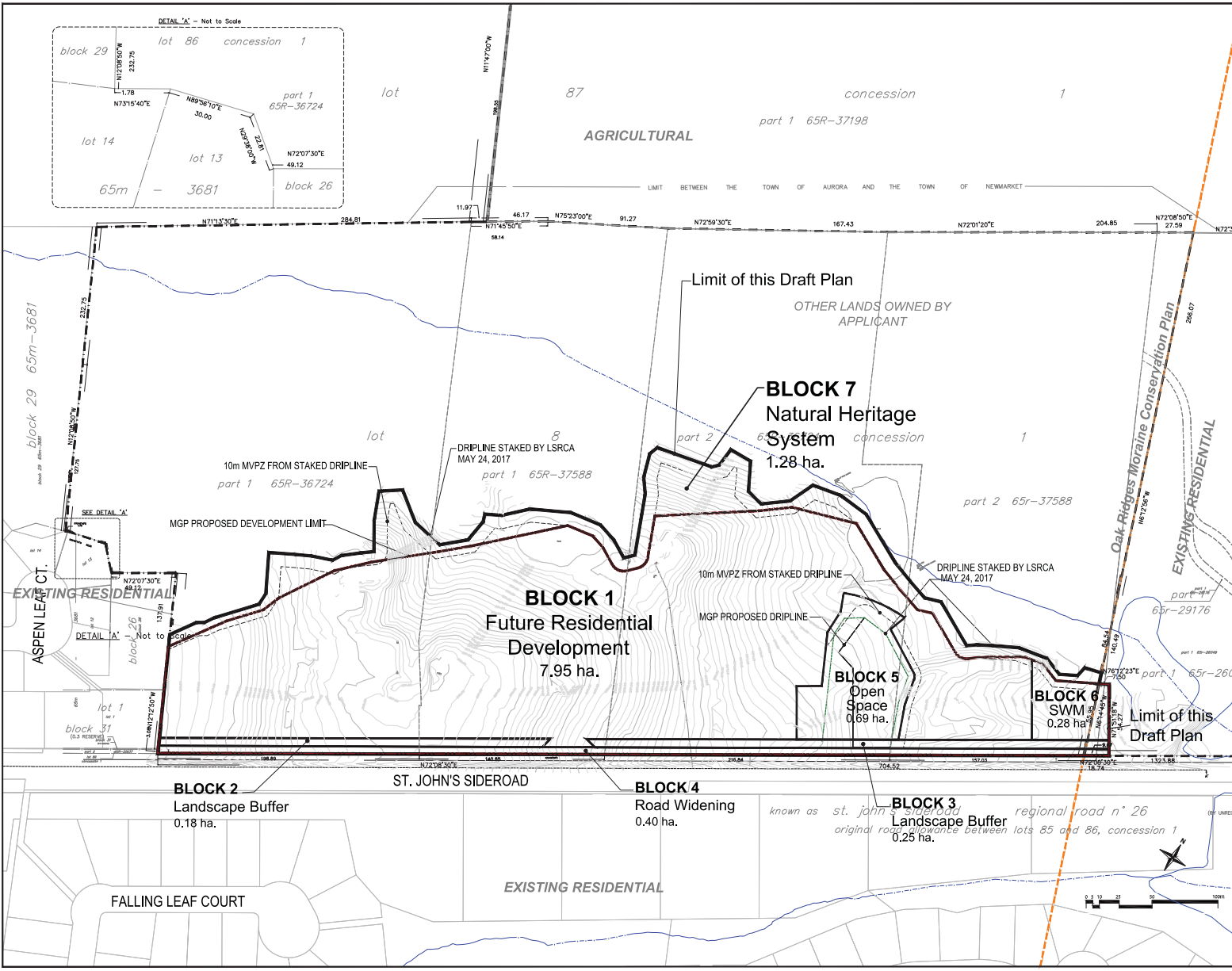




**SHINING HILL ESTATES - REVISED CONCEPT PLAN**

| UNIT TYPE                          | UNITS     |           |
|------------------------------------|-----------|-----------|
|                                    | This Plan | May Plan  |
| * Min.18.3m (60') Single Detached  | 42        | 40        |
| + Min. 15.24m(50') Single Detached | 49        | 52        |
| <b>TOTAL</b>                       | <b>91</b> | <b>92</b> |

  
  
 Date: December 5 2019  
 Project No.: 15-2374  
 Prepared by:  
**MGP** Malone Given Parsons.  
 Prepared for:  
**SHINING HILL ESTATES COLLECTION INC.**



### DRAFT PLAN OF SUBDIVISION

Part of Lot 86, Concession 1  
 Town of Aurora  
 Regional Municipality of York

#### KEY PLAN

LEGEND:  
 ■ SUBJECT PROPERTY  
 ■ OTHER LANDS OWNED BY APPLICANT

#### SCHEDULE OF LAND USE

| LOT/BLOCK | LAND USE                        | AREA (ha) |
|-----------|---------------------------------|-----------|
| 1         | Future Residential Development  | 7.95      |
| 2-3       | Landscape Buffer                | 0.43      |
| 4         | Road Widening                   | 0.40      |
| 5         | Open Space                      | 0.69      |
| 6         | Storm Water Management Facility | 0.28      |
| 7         | Natural Heritage System         | 1.28      |
| TOTAL     |                                 | 11.03     |

#### OWNER'S AUTHORIZATION

I hereby authorize Malone Given Parsons Ltd. to prepare and submit this Draft Plan of Subdivision to the Town of Aurora.

See Original: \_\_\_\_\_ See Original: \_\_\_\_\_  
 Angelo DeGasparis Date: \_\_\_\_\_ Neil A. LeGrow Date: \_\_\_\_\_

#### SURVEYOR'S CERTIFICATE

I hereby certify that the boundaries of the lands to be subdivided and their relationship to the adjacent lands are correctly shown.

See Original: \_\_\_\_\_ See Original: \_\_\_\_\_  
 Neil A. LeGrow Date: \_\_\_\_\_

#### ADDITIONAL INFORMATION

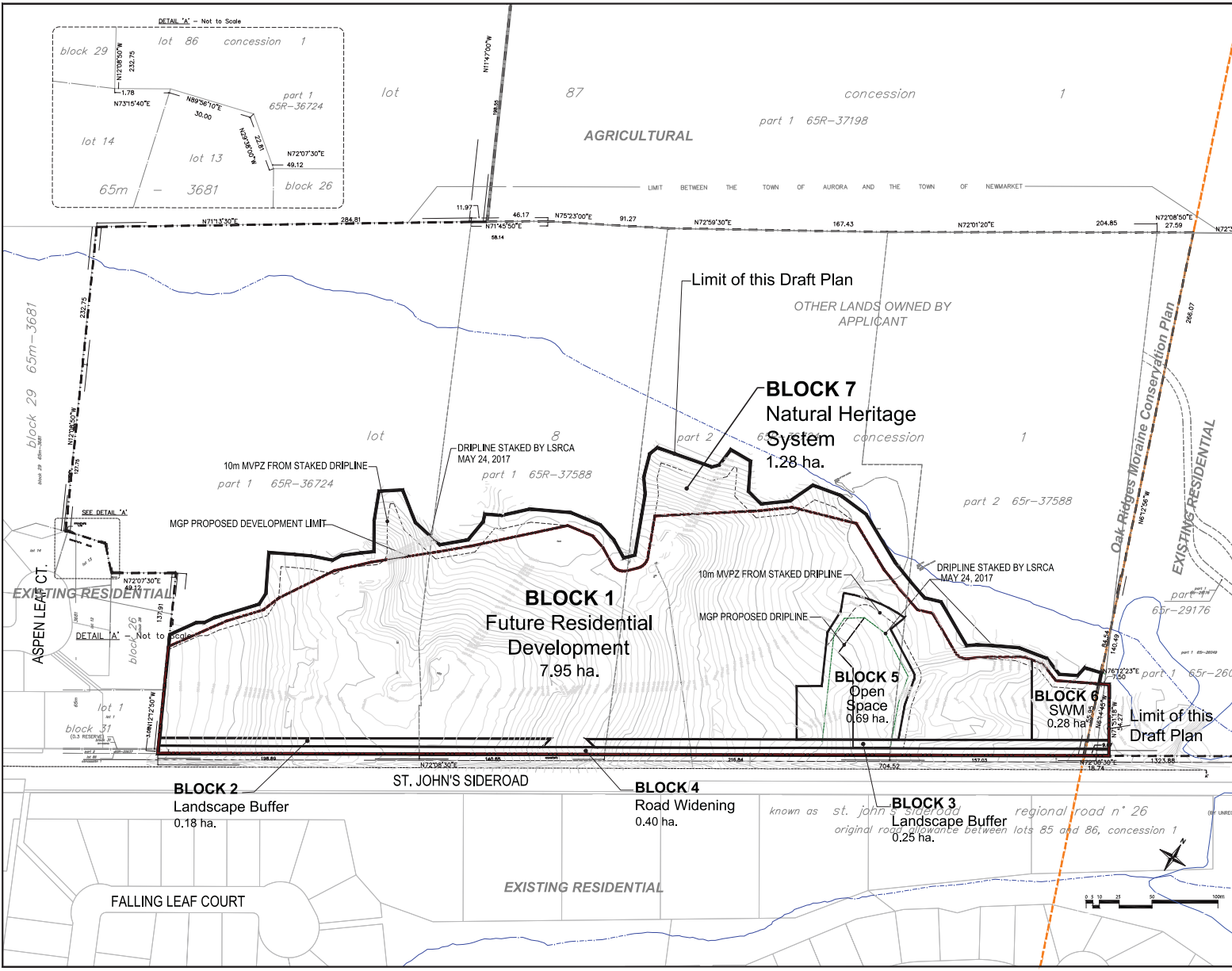
AS REQUIRED UNDER SECTION 51(17) OF THE PLANNING ACT, CHAPTER P.13(R.S.O. 1990).  
 (a),(e),(f),(g),(j),(l) - As shown of the Draft Plan.  
 (b),(c) - As shown on the Draft and Key Plan.  
 (d) - Land to be used in accordance with the Schedule of Land Use.  
 (i) - Soil is fine clay loam.  
 (h),(k) - Full municipal services to be provided.

Prepared by:  
 140 Renfrew Drive, Suite 201  
 Markham, Ontario, L3R 6B3  
 Tel: (905) 513-0170  
 www.mgp.ca

Prepared for:  
**SHINING HILL ESTATE COLLECTION INC.**

Date: April 23, 2018 Project No.: 15-2374

| Date      | Revision      | By |
|-----------|---------------|----|
| May 22/19 | Add Blocks    | DR |
| Dec. 5/19 | Revise Blocks | DR |



## DRAFT PLAN OF SUBDIVISION

Part of Lot 86, Concession 1  
 Town of Aurora  
 Regional Municipality of York

**KEY PLAN**

SUBJECT PROPERTY  
 OTHER LANDS OWNED BY APPLICANT

**SCHEDULE OF LAND USE**

| LOT/BLOCK    | LAND USE                        | AREA (ha)    |
|--------------|---------------------------------|--------------|
| 1            | Future Residential Development  | 7.95         |
| 2-3          | Landscape Buffer                | 0.43         |
| 4            | Road Widening                   | 0.40         |
| 5            | Open Space                      | 0.69         |
| 6            | Storm Water Management Facility | 0.28         |
| 7            | Natural Heritage System         | 1.28         |
| <b>TOTAL</b> |                                 | <b>11.03</b> |

**OWNER'S AUTHORIZATION**

I hereby authorize Malone Given Parsons Ltd. to prepare and submit this Draft Plan of Subdivision to the Town of Aurora.

See Original \_\_\_\_\_ See Original \_\_\_\_\_  
 Angelo DeGasparis \_\_\_\_\_ Date \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

I hereby certify that the boundaries of the lands to be subdivided and their relationship to the adjacent lands are correctly shown.

See Original \_\_\_\_\_ See Original \_\_\_\_\_  
 Neil A. LeGrow \_\_\_\_\_ Date \_\_\_\_\_

**ADDITIONAL INFORMATION**

AS REQUIRED UNDER SECTION 51(17) OF THE PLANNING ACT, CHAPTER P.13(R.S.O. 1990).

(a),(e),(f),(g),(j),(l) - As shown of the Draft Plan.  
 (b),(c) - As shown on the Draft and Key Plan.  
 (d) - Land to be used in accordance with the Schedule of Land Use  
 (i) - Soil is fine clay loam.  
 (h),(k) - Full municipal services to be provided.

**Prepared by:**

140 Renfrew Drive, Suite 201  
 Markham, Ontario, L3R 6B3  
 Tel: (905) 513-0170  
 www.mgp.ca

**Prepared for:**

**SHINING HILL ESTATE COLLECTION INC.**

Date: April 23, 2018 Project No.: 15-2374

| Date      | Revision      | By |
|-----------|---------------|----|
| May 22/19 | Add Blocks    | DR |
| Dec. 5/19 | Revise Blocks | DR |





100 John West Way  
Box 1000  
Aurora, Ontario  
L4G 6J1  
**Phone:** 905-727-3123 ext. 4212  
**Email:** mzawada@aurora.ca  
**www.aurora.ca**

**Town of Aurora  
Corporate Services**

## **Memorandum**

**Date:** February 12, 2020  
**To:** Accessibility Advisory Committee  
**From:** Mat Zawada, Accessibility Advisor  
**Re:** **Special events sensory room/space**

---

### **Recommendation**

- 1. That the memorandum regarding Special events sensory room/space be received; and**
- 2. That the Accessibility Advisory Committee provide comments regarding the Special events sensory room/space.**

### **Background**

As directed by the Accessibility Advisory Committee at its meeting on September 4, 2019, this memorandum provides information on the proposed sensory rooms/spaces to be provided at future Town of Aurora special events.

The Town of Aurora offers many family-friendly events annually, such as the Multicultural Festival, Haunted Forest and Aurora's Christmas Market. For most, going to an event is a thrill, but for some individuals with sensory processing issues, noisy events may present a challenge. Sensory issues can involve both hyper-sensitive (over-responsiveness) and hypo-sensitive (under-responsive) to a wide range of stimuli.

These can involve:

- Sights;
- Sounds;
- Smells;
- Tastes;
- Touch;

Special events sensory room/space  
February 12, 2020

Page 2 of 2

---

- Balance; and
- Body Awareness (Proprioception).

A sensory room is a space designed to help an individual with sensory issues learn to regulate their brain's negative reactions to external stimuli by developing coping skills for these experiences. The Accessibility Advisor is working with the Special Events team on providing accommodations for those with sensory needs or who may be experiencing a sensory overload. In an effort to provide an accommodation at upcoming events during 2020, there will be designated rooms offered to the public during events to be used as a quiet space.

Staff have reached out to organizations for feedback in order to create a more comprehensive multi- sensory room. The focus of gathering feedback with the organizations was to gather information on what items or methods could be used at designated quiet spaces that require little to no supervision, and can easily be transported to be used at various locations. All recommendations Are being brought back and presented at the Accessibility Advisory Committee meeting for final comment.

### **Attachments**

None



100 John West Way  
Box 1000  
Aurora, Ontario  
L4G 6J1  
**Phone:** 905-727-3123 ext. 4212  
**Email:** mzawada@aurora.ca  
**www.aurora.ca**

**Town of Aurora  
Corporate Services**

## **Memorandum**

**Date:** February 12, 2020  
**To:** Accessibility Advisory Committee  
**From:** Mat Zawada, Accessibility Advisor  
**Re:** 2019 Accessibility Compliance Report

---

### **Recommendation**

- 1. That the memorandum regarding 2019 Accessibility Compliance Report be received for information.**

### **Background**

Ontario is the first province and one of the first jurisdictions in the world to enact specific legislation establishing a goal and time-frame for accessibility. It is also the first jurisdiction to legislate accessibility reporting and to establish standards so people with disabilities can participate more actively in their communities.

Public sector organizations must submit an accessibility compliance report to confirm that the current accessibility requirements have been met under the Accessibility for Ontarians with Disabilities Act (A.O.D.A). Failure to complete the accessibility compliance report could lead to facing enforcement which can include financial penalties. On December 18, 2019, the Accessibility Advisor submitted the Town of Aurora's compliance report to the Province indicating that we are not in compliance with A.O.D.A standards. Specifically, the compliance report indicates that the Town of Aurora is not complying with all applicable requirements for the information and communications standards in effect under the Integrated Accessibility Standards Regulation. It will be the Town's responsibility to submit an updated report if the compliance status changes.

### **Attachments**

2019 Accessibility Compliance Report



### **Completing your accessibility compliance report**

You must complete the mandatory fields on each page before you can move to the next page. Mandatory fields are marked with an asterisk (\*).

To start, save the form on your computer. Be sure to open the form with Adobe Reader 10 or higher. You can save the form at any point in the process and return to it later. You may distribute the form within your organization for input before submitting.

#### **You need the following to file your accessibility compliance report:**

- organization legal name
  - 9-digit business number (BN9). This is the number that Canada Revenue Agency uses to identify your organization. You can find it on your federal or provincial tax return. If your organization does not have a business number (BN9), contact us to receive an AODA identifier to be used in place of a business number (BN9).
  - organization category (OPS/OLA, Designated Public Sector, Business/Non-profit)
    - if you are a business or a non-profit, your Organization category is Business/Non-profit
    - if you are a municipality, or a hospital, college, university, school board, public transportation provider (under [Schedule 1 of Ontario Regulation 191/11](#)), or an agency, board or commission (under [Column 1 of Table 1 of Ontario Regulation 146/10](#)), your Organization category is Designated Public Sector
- Note:** If you select the wrong organization category, you may see questions that do not apply to you. You will need to correct the category and enter your data again to successfully submit your report.
- number of employees in your organization in Ontario
  - name and contact information of your certifier (a director or senior officer with legal authority to say that the report is complete and accurate)

#### **File for up to 20 organizations at once**

You can use one form to file a report for up to 20 organizations. To do so, you need each organization's:

- legal name
- business number (BN9) or AODA identifier
- number of employees in Ontario
- address

Each organization must have the same:

- organization category
- number of employees range (e.g. 20-49, 50+)
- certifier
- answers to all of the accessibility compliance questions

If not, you will need to complete a separate form for each organization.

**Note:** Users of assistive technology should pull up a list of buttons to get a list of the links on the form.

## **Begin your report**

Follow these steps to complete your form:

### **1. Download and save the form**

- Download and save the form on your computer
- Open the form with Adobe Reader 10 or higher

### **2. Enter your organization's information**

- Enter your organization's information then select **Next**

### **3. Understand your requirements**

- If you need information about the requirements, select the website link in **section B: Understand your accessibility requirements**. This will bring you to our website where you can see your past, current and future requirements.

### **4. Answer the questions**

- The questions on the form are based on the requirements that apply to your:
  - organization category
  - number of employees range
- Select **Yes** (if you are in compliance) or **No** (if you are not in compliance) for each question. You may add comments in the comment box below each question.
- Each report question has links to:
  - the regulation section that is related to that question
  - helpful resources to help you understand and comply with the requirements
- Once you have answered all of the questions, select **Save form** at the bottom of the page before selecting **Next**
- Review the accessibility compliance report summary.

### **5. Certify and submit your report**

- Complete the Certifier Information section
- The certifier must:
  - make sure all information on the form is complete and accurate
  - check all three boxes to show they have authority to certify your organization
  - enter the certification date or select it from the drop down calendar
- Enter your organization's primary contact. This is the person to be contacted if more information is needed. This person may be the certifier or a different person.
- You may save the form at any time by selecting the **Save form** button. When you are ready to submit your report, select the **Save and Submit** button. You will be prompted to save the form on your computer first and then it will be submitted.
- Wait for a confirmation prompt with a confirmation number that either confirms submission or indicates any problems.
- Once the report is received, an email will be sent to the Certifier and the Primary Contact. This email will include:
  - a confirmation number
  - an accessible PDF copy of your report

**If you have not received a confirmation number** upon successfully submitting the form or have any questions please contact the AODA Contact Centre (ServiceOntario) at:

Toll free phone: 1-866-515-2025

TTY Toll free: 1-800-268-7095

Phone: 416-849-8276

TTY: 416-325-3408

Email: [accessibility@ontario.ca](mailto:accessibility@ontario.ca)

### **Accessible alternate formats**

If you need the accessibility compliance report in an accessible format, please email [accessibility@ontario.ca](mailto:accessibility@ontario.ca).



**Instructions**

All information you provide is subject to the *Freedom of Information and Protection of Privacy Act*.

Fields marked with an asterisk (\*) are mandatory.

**A. Organization information**

|                          |                             |                |
|--------------------------|-----------------------------|----------------|
| Organization category *  | Number of employees range * | Reporting year |
| Designated Public Sector | 50+ employees               | 2019           |

**Business details**

|                                       |   |
|---------------------------------------|---|
| Organization legal name *             | Number of employees in Ontario * <a href="#">Help</a> |
| The Corporation of the Town of Aurora | 564   |

|  |   |
|--|---|
| Business number (BN9) * <a href="#">Help</a> | <input type="checkbox"/> Check this box if you have received an AODA identifier from the Ministry for Seniors and Accessibility |
| 124722109                                    |   |

Check if operating/business name is same as legal name

|                                      |  |
|--------------------------------------|--|
| Organization operating/business name | Language preference for communications * |
| Town of Aurora                       | English                                  |

|  |                      |
|--|----------------------|
| Sector that best describes your organization's principal business activity * | <a href="#">Help</a> |
| 91   |                      |

|                         |                              |
|-------------------------|------------------------------|
| Subsector (if possible) | Industry group (if possible) |
| 913                     | 9139                         |

**Mailing address**

Address where letters can be sent to the person responsible for coordinating the organization's AODA compliance activities.

|           |   |                           |                                     |
|-----------|---|---------------------------|-------------------------------------|
| Country * | <input checked="" type="radio"/> Canada | <input type="radio"/> USA | <input type="radio"/> International |
|-----------|---|---------------------------|-------------------------------------|

|                   |   |  |                             |
|-------------------|---|--|-----------------------------|
| Type of address * | <input checked="" type="radio"/> Street address | <input type="radio"/> Street address served by route | <input type="radio"/> Other |
|-------------------|---|--|-----------------------------|

|             |                 |               |
|-------------|-----------------|---------------|
| Unit number | Street number * | Street name * |
|             | 100             | John West Way |

|             |                  |        |              |
|-------------|------------------|--------|--------------|
| Street type | Street direction | City * | Province *   |
|             |                  | Aurora | ON (Ontario) |

|               |
|---------------|
| Postal code * |
| L4G 6J1       |

**Business address**

(Address at which letters can be sent to the company director/officer accountable for the organization's compliance with the AODA.)

Check if business address is same as mailing address

|           |   |                           |                                     |
|-----------|---|---------------------------|-------------------------------------|
| Country * | <input checked="" type="radio"/> Canada | <input type="radio"/> USA | <input type="radio"/> International |
|-----------|---|---------------------------|-------------------------------------|

|                   |   |  |                             |
|-------------------|---|--|-----------------------------|
| Type of address * | <input checked="" type="radio"/> Street address | <input type="radio"/> Street address served by route | <input type="radio"/> Other |
|-------------------|---|--|-----------------------------|

|             |                 |               |
|-------------|-----------------|---------------|
| Unit number | Street number * | Street name * |
|             | 100             | John West Way |

|             |                  |        |              |
|-------------|------------------|--------|--------------|
| Street type | Street direction | City * | Province *   |
|             |                  | Aurora | ON (Ontario) |

|               |
|---------------|
| Postal code * |
| L4G 6J1       |



Ministry for Seniors and Accessibility

2019 Accessibility compliance report

Organization category Designated Public Sector

Number of employees range 50+

Filing organization legal name The Corporation of the Town of Aurora

Filing organization business number (BN9) 124722109

Fields marked with an asterisk (\*) are mandatory.

**B. Understand your accessibility requirements**

Before you begin your report, you can learn about your accessibility requirements at [ontario.ca/accessibility](http://ontario.ca/accessibility)

Additional accessibility requirements apply if you are:

- a library board
- a producer of education material (e.g. textbooks)
- an education institution (e.g. school board, college, university or school)
- a municipality

**C. Accessibility compliance report questions**

**Instructions**

Please answer each of the following compliance questions. Use the Comments box if you wish to comment on any response.

If you need help with a specific question, click the help links which will open in a new browser window. Use the link on the left to view the relevant AODA regulations and the link on the right to view relevant accessibility information resources.

**Foundation requirements**

1. Does your organization have written accessibility policies and a statement of commitment? \*  Yes  No  
[Read O. Reg. 191/11 s. 3: Establishment of accessibility policies](#) [Learn more about your requirements for question 1](#)

Comments for question 1

2. Has your organization established, implemented and maintained a multi-year accessibility plan and posted it on your organization's website? \*  Yes  No  
[Read O. Reg. 191/11 s. 4: Accessibility plans](#) [Learn more about your requirements for question 2](#)

Comments for question 2

3. Has your organization completed a review of its progress implementing the strategy outlined in its accessibility plan and documented the results in an annual status report posted on the organization's website? \*  Yes  No  
[Read O. Reg. 191/11 s. 4\(1\), 4\(3\): Accessibility plans](#) [Learn more about your requirements for question 3](#)

Comments for question 3

4. Did your organization consult with people with disabilities when establishing, reviewing and updating its multi-year accessibility plan? \*  Yes  No  
[Read O. Reg. 191/11 s. 4\(2\): Accessibility plans](#) [Learn more about your requirements for question 4](#)

Comments for question 4

5. Does your organization provide the appropriate training on the Integrated Accessibility Standards Regulation and the Human Rights Code as it pertains to persons with disabilities? \*  Yes  No  
[Read O. Reg. 191/11 s. 7: Training](#) [Learn more about your requirements for question 5](#)  
Comments for question 5

---

6. Has your organization established and documented a process to receive and respond to feedback on how its goods or services are provided to persons with disabilities, including actions that your organization will take when a complaint is received? \*  Yes  No  
[Read O. Reg. 191/11 s. 80.50: Feedback process required](#) [Learn more about your requirements for question 6](#)  
Comments for question 6

---

7. Does your organization ensure that its feedback processes are accessible to persons with disabilities by providing or arranging accessible formats or communication supports, upon request, and do you notify the public of this accessible feedback policy? \*  Yes  No  
[Read O. Reg. 191/11 s. 11: Feedback](#) [Learn more about your requirements for question 7](#)  
Comments for question 7

---

**Information and communications**

8. Does your organization have a process to provide accessible formats and communication supports for persons with disabilities in a timely manner and at no more than the cost for other persons who ask for the same information, and do you notify the public of this accessible information policy? \*  Yes  No  
[Read O. Reg. 191/11 s. 12: Accessible formats and communications supports](#) [Learn more about your requirements for question 8](#)  
Comments for question 8

---

**Employment**

9. Does your organization notify its employees and the public about the availability of accommodations in its recruitment process? \*  Yes  No  
[Read O. Reg. 191/11 s. 22-24: Recruitment](#) [Learn more about your requirements for question 9](#)  
Comments for question 9

---

10. Does your organization notify successful applicants of its policies for accommodating employees with disabilities during offers of employment? \*  Yes  No  
[Read O. Reg. 191/11 s. 24: Notice to successful applicants](#) [Learn more about your requirements for question 10](#)  
Comments for question 10

---

11. Does your organization develop and have in place a written process for the development of documented individual accommodation plans for employees with disabilities? \*  Yes  No  
[Read O. Reg. 191/11 s. 28: Documented individual accommodation plans](#) [Learn more about your requirements for question 11](#)  
Comments for question 11

---



**Transportation**

12. Does your organization provide transportation services? \*  Yes  No  
(If Yes, you will be required to answer an additional question.)

[Read O. Reg. 191/11 Part IV: Transportation standards](#)

[Learn more about your requirements for question 12](#)

- 12.a. Does your organization conduct employee and volunteer accessibility training on the safe use of accessibility equipment and features of your transportation vehicles? \*  Yes  No

[Read O. Reg. 191/11 s. 36: Accessibility training](#)

[Learn more about your requirements for question 12.a](#)

Comments for question 12.a

---

**Design of public spaces**

13. Since your organization last reported on its accessibility compliance, has your organization constructed new or redeveloped existing off-street parking facilities that it intends to maintain? \*  Yes  No  
(If Yes, you will be required to answer an additional question.)

[Read O. Reg. 101/11 Part IV.1: Design of public spaces standards](#)

[Learn more about your requirements for question 13](#)

- 13.a. When constructing new or redeveloping off-street parking facilities that your organization intends to maintain, does it ensure that the off-street parking facilities meet the accessibility requirements as outlined in sections 80.32 – 80.37 of the IASR? \*  Yes  No

[Read O. Reg. 80.32-37: Accessible parking](#)

[Learn more about your requirements for question 13.a](#)

Comments for question 13.a

- 
14. Since your organization last reported on accessibility compliance, has your organization constructed new or redeveloped existing outdoor public spaces that it intends to maintain? \*  Yes  No  
(If Yes, you will be required to answer additional questions.)

[Read O. Reg. 191/11 Part IV.1: Design of public spaces standards](#)

[Learn more about your requirements for question 14](#)

- 14.a. When constructing new or redeveloping existing outdoor play spaces, did your organization consult with the public and persons with disabilities on the needs of children and caregivers, and if you represent a municipality did your organization consult with the municipal advisory committee where one was established as outlined in s. 80.19 of the Integrated Accessibility Standards Regulation? \*  Yes  No

[Read O. Reg. 191/11 s. 80.19: Outdoor play spaces](#)

[Learn more about your requirements for question 14.a](#)

Comments for question 14.a

- 14.b. Does your organization's multi-year accessibility plan include procedures for preventative and emergency maintenance of the accessible elements in public spaces, and for dealing with temporary disruptions when accessible elements required under the Integrated Accessibility Standards Regulations Part IV are not in working order? \*  Yes  No

[Read O. Reg. 191/11 s. 80.44: Maintenance of accessible elements](#)

[Learn more about your requirements for question 14.b](#)

Comments for question 14.b

---

**Customer service**

15. In your policies, practices and procedures, does your organization permit persons with disabilities to keep their service animals with them on the parts of your premises that are open to the public or other third parties, except where the animal is excluded by law? If excluded by law, does your organization have alternate ways for people with service animals to access and use your goods, services or facilities?  Yes  No

[Read O. Reg. 191/11 s. 80.47\(1-3\): Use of service animals and support persons](#)

[Learn more about your requirements for question 15](#)

Comments for question 15

**General requirements**

16. Other than the requirements cited in the above questions, is your organization complying with all applicable requirements for the **information and communications standards** in effect under the Integrated Accessibility Standards Regulation? \*  Yes  No

[Read O. Reg. 191/11 Part II: Information and communications standards](#) [Learn more about your requirements for question 16](#)

Comments for question 16 Current website is missing a few requirements from the WCAG standards. Our new website is launching in January 2020 which will meet all WCAG 2.1 standards - we will resubmit our report upon launch.

17. Other than the requirements cited in the above questions, is your organization complying with all applicable requirements for the **employment standards** in effect under the Integrated Accessibility Standards Regulation? \*  Yes  No

[Read O. Reg. 191/11 Part III: Employment standards](#) [Learn more about your requirements for question 17](#)

Comments for question 17

18. Other than the requirements cited in the above questions, is your organization complying with all applicable requirements for the **transportation standards** in effect under the Integrated Accessibility Standards Regulation? \*  Yes  No

[Read O. Reg. 191/11 Part IV: Transportation standards](#) [Learn more about your requirements for question 18](#)

Comments for question 18

19. Other than the requirements cited in the above questions, is your organization complying with all applicable requirements for the **design of public spaces standards** in effect under the Integrated Accessibility Standards Regulation? \*  Yes  No

[Read O. Reg. 101/11 Part IV.1: Design of Public Spaces standards](#) [Learn more about your requirements for question 19](#)

Comments for question 19

20. Other than the requirements cited in the above questions, is your organization complying with all applicable requirements for the **customer service standards** under the Integrated Accessibility Standards Regulation? \*  Yes  No

[Read O. Reg. 191/11 Part IV.2: Customer service standards](#) [Learn more about your requirements for question 20](#)

Comments for question 20

21. Other than the requirements cited in the above questions, is your organization complying with all general requirements in effect under the Integrated Accessibility Standards Regulation? \*  Yes  No

[Read O. Reg. 191/11 Part I: General requirements](#) [Learn more about your requirements for question 21](#)

Comments for question 21



Ministry for Seniors and Accessibility

**2019 Accessibility Compliance Report**

Organization category Designated Public Sector | Number of employees range 50+

Filing organization legal name The Corporation of the Town of Aurora

Filing organization business number (BN9) 124722109

Fields marked with an asterisk (\*) are mandatory.

**D. Accessibility compliance report summary**

Your response to the questions on your accessibility report indicate that your organization is not in compliance with AODA standards. You have responded 'No' to the question(s) below:

16. Other than the requirements cited in the above questions, is your organization complying with all applicable requirements for the information and communications standards in effect under the Integrated Accessibility Standards Regulation?

This means that your organization is not in full compliance with the requirements of the AODA. If your compliance status changes, you will need to submit an updated report.

Your organization may be audited to verify compliance.

**E. Accessibility compliance report certification**

Section 15 of the *Accessibility for Ontarians with Disabilities Act, 2005* requires that accessibility reports include a statement certifying that all the required information has been provided and is accurate, signed by a person with authority to bind the organization(s).

**Note:** It is an offence under the Act to provide false or misleading information in an accessibility report filed under the AODA.

The certifier may designate a primary contact for the Ministry for Seniors and Accessibility to contact the organization(s); otherwise the certifier will be the main contact.

**Certifier:** Someone who can legally bind the organization(s).

**Primary Contact:** The person who will be the main contact for accessibility issues.

**Acknowledgement**

I certify that I have the authority to bind all organizations specified in Section A of this form, \*

I certify that all the required information has been included in this report, and, \*

I certify that the information in this report is accurate. \*

Certification date (yyyy-mm-dd) \* 2019-12-18

**Certifier information**

|                       |                         |              |  |
|-----------------------|-------------------------|--------------|--|
| Last name *           |                         | First name * |  |
| van Leeuwen           |                         | Techa        |  |
| Position title *      | Business phone number * | Extension    | <input type="checkbox"/> Check here if TTY |
| Director              | 905 727-3123            | 4748         |  |
| Email *               | Alternate phone number  | Extension    | Fax number                                 |
| TVanLeeuwen@aurora.ca |                         |              | 905 726-4732                               |

**Primary contact for the organization(s)**

Check if the primary contact is same as the certifier

Last name \*  
Zawada

First name \*  
Mateusz

Position title \*  
Other

Business phone number \*  
905 727-3123

Extension  Check here if TTY  
4212

Email \*  
mzawada@aurora.ca

Alternate phone number

Extension

Fax number  
905 726-4732