



**Accessibility
Advisory Committee
Meeting Agenda**

**Wednesday, June 10, 2020
7 p.m.**

Video Conference

Public Release
June 3, 2020



Town of Aurora Accessibility Advisory Committee Meeting Agenda

Date: Wednesday, June 10, 2020

Time and Location: 7 p.m., Video Conference

Note: This meeting will be held electronically as per Section 20.1 of the Town's Procedure By-law No. 6228-19, as amended, due to the COVID-19 State of Emergency.

- 1. Approval of the Agenda**
- 2. Declarations of Pecuniary Interest and General Nature Thereof**
- 3. Receipt of the Minutes**

Accessibility Advisory Committee Meeting Minutes of March 11, 2020

Recommended:

That the Accessibility Advisory Committee meeting minutes of March 11, 2020, be received for information.

- 4. Delegations**
- 5. Matters for Consideration**
 - 1. Memorandum from Accessibility Advisor**

Re: Accessibility Advisory Committee Input and Comments for Site Plan Application SP(EX)-2020-03 (Submission #1), 15900 Bayview Avenue

Recommended:

1. That the memorandum regarding Accessibility Advisory Committee Input and Comments for Site Plan Application SP(EX)-2020-03 (Submission #1), 15900 Bayview Avenue, be received; and
2. That the Accessibility Advisory Committee provide any further comment regarding the Site Plan Application.

2. Memorandum from Accessibility Advisor

Re: Accessibility Advisory Committee Input and Comments for Site Plan Application SP-2020-02 (Submission #1), 15516 Leslie Street
(Due to the large size of the file, Item 2 with attachments is available at aurora.ca/agendas)

Recommended:

1. That the memorandum regarding Accessibility Advisory Committee Input and Comments for Application SP-2020-02 (Submission #1), 15516 Leslie Street, be received; and
2. That the Accessibility Advisory Committee provide any further comment regarding the Site Plan Application.

3. Memorandum from Accessibility Advisor

Re: Accessibility Advisory Committee Input and Comments for Site Plan Application SPM-2020-01 (Submission #1), 1540 Wellington Street East

Recommended:

1. That the memorandum regarding Accessibility Advisory Committee Input and Comments for Site Plan Application SPM-2020-01 (Submission #1), 1540 Wellington Street East, be received; and
2. That the Accessibility Advisory Committee provide any further comment regarding the Site Plan Application.

4. Memorandum from Planner

**Re: Site Plan Application
5011097 Ontario Inc.
150 Addison Hall Circle
Block 12, Plan 65M-4650
File Number: SP-2020-03**

Recommended:

1. That the Site Plan Application, 5011097 Ontario Inc., 150 Addison Hall Circle, Block 12, Plan 65M-4650, File Number: SP-2020-03, be received; and
2. That the Accessibility Advisory Committee provide comments regarding the Site Plan Application.

5. Round Table Discussion

**Re: Town of Aurora Accessibility Plan 2018 to 2024
([Link to Accessibility Plan](#))**

Recommended:

1. That the comments and suggestions regarding the Town of Aurora Accessibility Plan 2018 to 2024 be received and referred to staff for consideration and action as appropriate.

6. Informational Items

6. Accessibility Advisory Committee Operational Budget

Recommended:

1. That the Accessibility Advisory Committee Operational Budget be received for information.

7. Adjournment



**Town of Aurora
Accessibility Advisory Committee
Meeting Minutes**

Date:	Wednesday, March 11, 2020
Time and Location:	7 p.m., Holland Room, Aurora Town Hall
Committee Members:	Councillor Rachel Gilliland (Acting Chair), Hailey Reiss, Matthew Abas, Max Le Moine, and Jo-anne Spitzer
Members Absent:	John Lenchak (Chair), Rachelle Stinson
Other Attendees:	Mat Zawada, Accessibility Advisor, Ishita Soneji, Council/Committee Coordinator

The Committee consented to appoint Councillor Gilliland as Chair for the meeting.

The Chair called the meeting to order at 7 p.m.

1. Approval of the Agenda

**Moved by Matthew Abas
Seconded by Hailey Reiss**

That the agenda as circulated by Legislative Services be approved.

Carried

2. Declarations of Pecuniary Interest and General Nature Thereof

There were no declarations of pecuniary interest under the *Municipal Conflict of Interest Act, R.S.O. 1990, c. M.50*.

3. Receipt of the Minutes

Accessibility Advisory Committee Meeting Minutes of February 12, 2020

Accessibility Advisory Committee Meeting Minutes
Wednesday, March 11, 2020

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**Moved by Max Le Moine
Seconded by Matthew Abas**

That the Accessibility Advisory Committee meeting minutes of February 12, 2020, be received for information.

Carried

4. Delegations

None

5. Matters for Consideration

1. Memorandum from Planner

Re: Application for Site Plan Amendment (2nd Submission), 16015 Bayview Avenue, Part 1, Plan 65R-32530, File Number: SP-2019-08

Staff provided an overview of the application and noted that no further comments were provided by staff regarding this submission. It was mentioned that all previous comments provided by the Committee have been responded to by the applicant. The Committee reviewed the application and sought clarification on the type of tactile indicator plates that would be installed on the pathway, and staff provided clarification.

**Moved by Max Le Moine
Seconded by Matthew Abas**

1. That the memorandum regarding Application for Site Plan Amendment (2nd Submission), 16015 Bayview Avenue, Part 1, Plan 65R-32530, File Number: SPR-2019-08 be received; and
2. That Accessibility Advisory Committee has no further comments regarding the Site Plan Amendment application.

Carried

2. Memorandum from Planner

Re: Application for Site Plan Approval (3rd Submission), 1623 Wellington Street East, File number SP-2015-05

Accessibility Advisory Committee Meeting Minutes
Wednesday, March 11, 2020

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Staff gave an overview of the application and noted that there were no further comments from staff regarding this application. It was mentioned that all previous comments provided by the Committee have been responded to by the applicant. The Committee reviewed the site plan and no further comments were provided.

**Moved by Max Le Moine
Seconded by Hailey Reiss**

1. That the memorandum regarding Application for Site Plan Approval (3rd Submission), 1623 Wellington Street East, File number SP-2015-05 be received; and
2. That Accessibility Advisory Committee has no further comments regarding the Site Plan Approval.

Carried

**3. Memorandum from Planner
Re: Application for Site Plan Exemption (1st Submission), 15 First
Commerce Drive (Unit F1), File Number: SP(EX)-2020-01**

Staff provided an overview of the application and the Committee reviewed the site plan and discussed the accessibility standards to be considered as part of the application.

**Moved by Matthew Abas
Seconded by Max Le Moine**

1. That the memorandum regarding Application for Site Plan Exemption (1st Submission), 15 First Commerce Drive (Unit F1), File Number: SP(EX)-2020-01 be received; and
2. That the following Accessibility Advisory Committee comments regarding the Site Plan Exemption be considered by staff:
 - (a) Request for at least one accessible entrance or 50% of the total number of building entrances leading to the outdoor patio; and
 - (b) Request for entrance doors to the patio to be automatic; and

Accessibility Advisory Committee Meeting Minutes
Wednesday, March 11, 2020

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- (c) Request to consider appropriate lighting throughout the outdoor eating area and to ensure that any lighting stands or posts are clear from barrier-free path of travel; and
- (d) Request that outdoor public use eating area have at least 20% of accessible seating; and
- (e) Request to install appropriate wayfinding signage to be used to designate the barrier-free path of travel to the outdoor patio.

Carried

4. Memorandum from Planner

Re: Application for Site Plan Amendment (1st Submission), Addison Hall Business Park, 2351528 Ontario Ltd., 110 and 450 Addison Hall Circle, Blocks 21 and 22, Plan 65M-4650, File Number: SP-2019-12

Staff provided an overview of the application and the Committee reviewed the site plan and discussed the accessibility standards to be considered as part of the application.

Moved by Max Le Moine

Seconded by Matthew Abas

1. That the memorandum regarding Application for Site Plan Amendment (1st Submission), Addison Hall Business Park, 2351528 Ontario Ltd., 110 and 450 Addison Hall Circle, Blocks 21 and 22, Plan 65M-4650, File Number: SP-2019-12 be received; and
2. That the following Accessibility Advisory Committee comments regarding the Site Plan Amendment be considered by staff:
 - (a) Request to consider automatic door openers for all public access locations, including proper timed delays; and
 - (b) Request for exterior path/sidewalk to have a minimum width of 1.5 metres; and
 - (c) Request for proper vertical sign and pavement markings to indicate barrier-free parking spaces; and

- (d) Request to consider installation of crosswalk from south west exterior path of travel to the south west main entrance of the building; and
- (e) Request to relocate bicycle spaces to the south west front entrance of the building; and
- (f) Request to install tactile indicators at the south west staircase; and
- (g) Request to install additional walkway from the south exterior path of travel to the south parking lots.

Carried

5. Memorandum from Planner

Re: Application for Site Plan Amendment (1st Submission), Addison Hal Business Park, 2351528 Ontario Ltd., 455 Addison Hall Circle, Block 23, Plan 65M-4650, File Number: SP-2019-13

Staff provided an overview of the application and the Committee reviewed the site plan and discussed the accessibility standards to be considered as part of the application.

Moved by Matthew Abas

Seconded by Max Le Moine

1. That the memorandum regarding Application for Site Plan Amendment (1st Submission), Addison Hal Business Park, 2351528 Ontario Ltd., 455 Addison Hall Circle, Block 23, Plan 65M-4650, File Number: SP-2019-13 be received; and
2. That the following Accessibility Advisory Committee comments regarding the Site Plan Amendment be considered by staff:
 - (a) Request to consider automatic door openers for all public locations including proper timed door delays; and
 - (b) Request to consider for additional barrier free parking to be added on the west and east parking lots to assist with creating a shorter barrier-free path; and
 - (c) Request for proper vertical sign and pavement markings to indicate barrier-free parking spaces; and

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Wednesday, March 11, 2020

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- (d) Request to consider installation of crosswalk from south east exterior path of travel to the south east main entrance of the building; and
- (e) Request for exterior path/sidewalk to have a minimum width of 1.5 metres.

Carried

6. Round Table Discussion

Re: Town of Aurora Accessibility Plan 2018 to 2024

Staff provided an overview of the cost estimate of the sensory room as requested at the last Committee meeting including details on the potential item and equipment costs for three sensory rooms to be funded from the accessibility operating budget. The Committee discussed about the available operating funds and requested details on the current accessibility operating budget allocation to be brought to a future meeting.

Staff provided a status update on the 2019 Capital Projects and the Committee requested that installation of additional support railing in the hot pool at the Aurora Family Leisure Complex and improving tactile crosswalk path along Amberhill Way be considered as part of ongoing repair and replacement projects.

The Committee and staff discussed about suitable time to conduct accessibility audits at various Town facilities in the upcoming months.

Moved by Max Le Moine

Seconded by Matthew Abas

1. That the comments and suggestions regarding the Town of Aurora Accessibility Plan 2018 to 2024 be received and referred to staff for consideration and action as appropriate.

Carried

6. Informational Items

7. Memorandum from Accessibility Advisor

Re: Workplace Diversity and Inclusion Strategy

Staff provided a brief overview of the memorandum and noted that staff would

be collaborating with N6 municipalities to develop wholesome goals on improving workplace diversity and inclusivity.

**Moved by Max Le Moine
Seconded by Jo-anne Spitzer**

1. That the memorandum regarding the Workplace Diversity and Inclusion Strategy be received for information.

Carried

8. Adjournment

**Moved by Matthew Abas
Seconded by Jo-anne Spitzer**

That the meeting be adjourned at 8:12 p.m.

Carried



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Town of Aurora
Corporate Services

Memorandum

Date: April 22, 2020
To: Brashanthe Manoharan, Planning and Development Services
From: Mat Zawada, Accessibility Advisor
Re: Accessibility Advisory Committee (AAC) Input and Comments for Site Plan Application SP(EX)-2020-03 (Submission #1)

The Accessibility Advisor has made comments on behalf of the Accessibility Advisory Committee.

The comments are as follows:

- Consideration for temporary barrier-free parking spots to be provided close to the tent.
- Consideration for all paths of travel provided to have a minimum clear width of 1,500 mm.
- No further comments at this time. The Accessibility Advisory Committee appreciates the opportunity to provide comments.

Please also note that there are new Design of Public Spaces (Built Environment) Standards enacted from the Province of Ontario, under the Accessibility for Ontarians with Disabilities Act and revisions to the Ontario Building Code to help standardize and encourage barrier free access.

On behalf of the Accessibility Advisory Committee, thank you for the opportunity to comment.

Mat Zawada
Accessibility Advisor – Ext 4212



100 John West Way
Box 1000
Aurora, ON L4G 6J1
Phone: 905-727-3123 Ext. 4223
Email: bmanoharan@aurora.ca
www.aurora.ca

Planning and Building Services

INTERNAL MEMORANDUM

DATE: April 14, 2020

TO: B. Butler, Planning and Building Services
S. Sample, Planning and Building Services
G. Greidanus, Parks, Recreation and Cultural Services
J. McDonald, Central York Fire Services
M. Bat, Engineering and Capital Delivery
M. Zawada, Accessibility Advisory Committee

FROM: Brashanthe Manoharan, Planning and Development Services

Re: **Site Plan Exemption Application**
CP REIT Ontario Properties Ltd.
15900 Bayview Avenue
Plan 65M-2874 Pt Lots 2 And 3 and Blk 4
File Number: SP(EX)-2020-03

A request for Site Plan Exemption approval has been submitted to permit the following:

- A garden centre with a 1,874 sq.m compound area; and
- Two (2) associated tents (441 sq.m. & 126 sq.m.)

The garden centre will be in operation from April 15, 2020 – July 15, 2020.

Attached are the Applicant's drawings for your review and comment. Please forward any comments you may have on this proposal to me on or before **April 28, 2020** and advise if you consider the proposal for Site Plan Exemption appropriate.

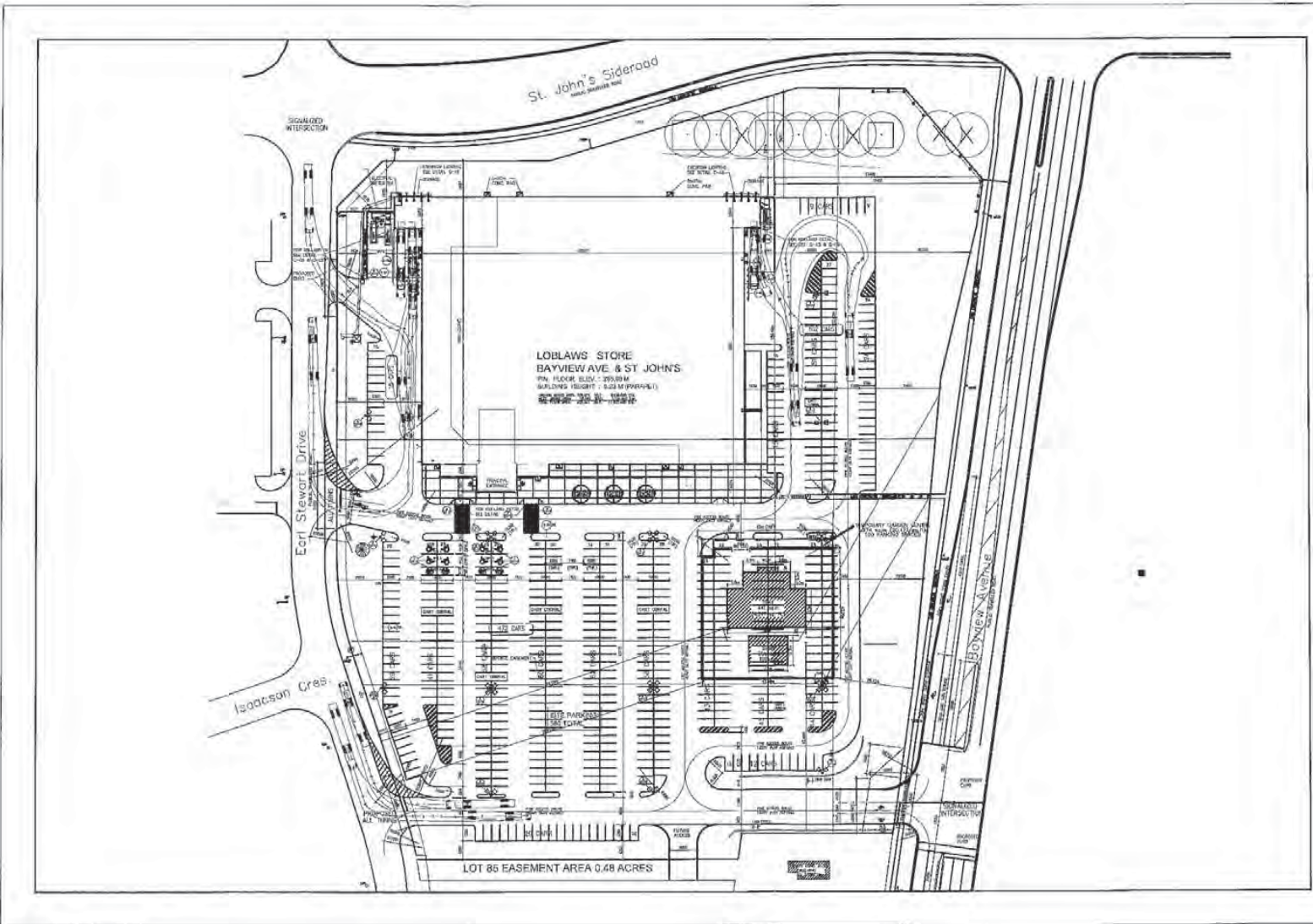
Should you have any questions regarding the above, please feel free to contact me.

Best,

A handwritten signature in black ink, appearing to be "BM", is written over a light blue circular stamp.

Brashanthe Manoharan
Assistant Planner
Planning and Building Services

Attach.



KEY PLAN

N.T.S.

STORE 1030

**15900 Bayview Ave
 Aurora, Ontario**

the real Canadian **Superstore**

**GARDEN CENTRE
 + DETAILS**

SITE STATISTICS

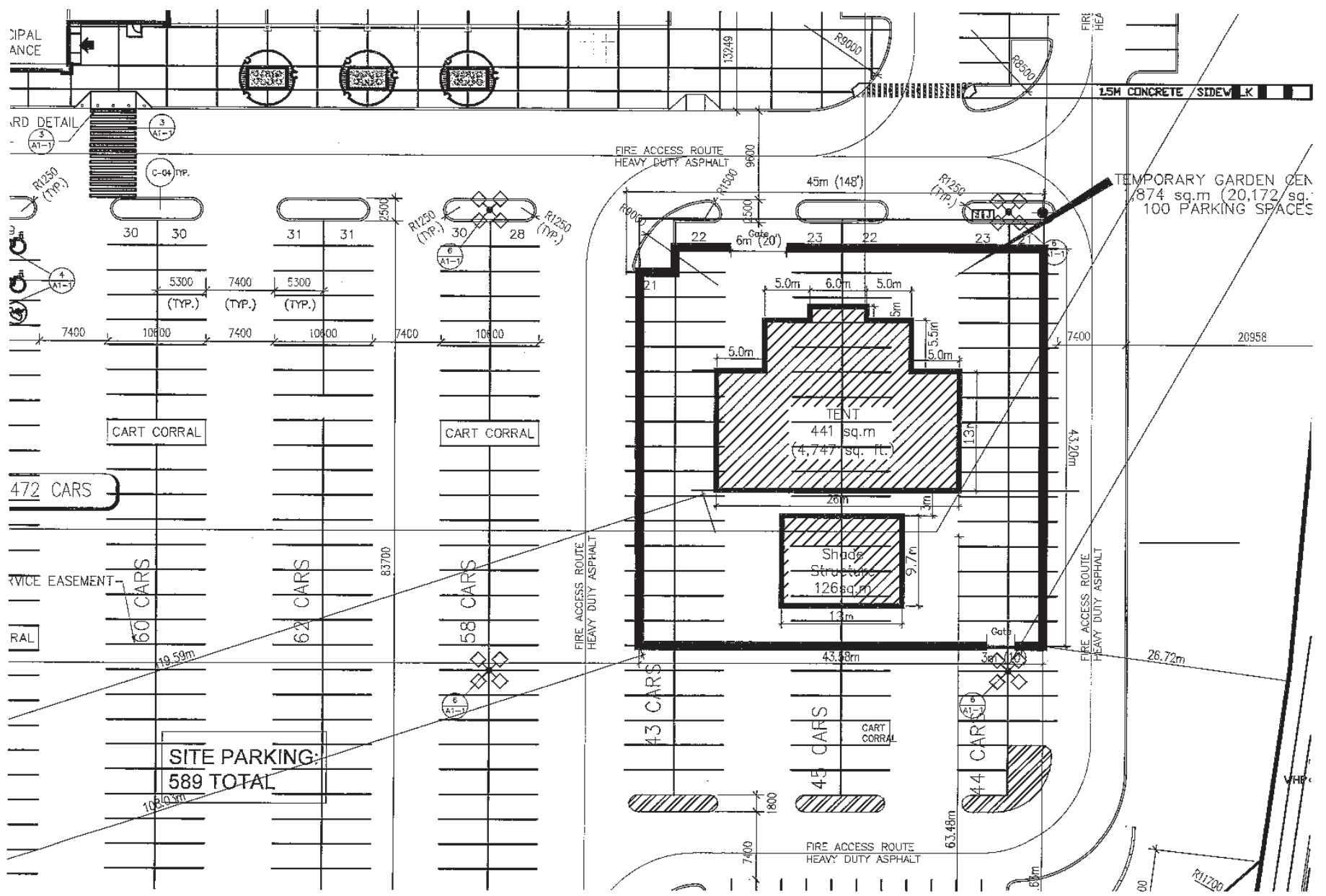
DESCRIPTION	AREA (SQ. FT.)	PERCENTAGE
TOTAL SITE AREA	1,100,000	100%
LOT AREA	1,100,000	100%
LOT 85 EASEMENT AREA	528,000	48%
REMAINING LOT AREA	572,000	52%
LOT 85 EASEMENT AREA	528,000	48%
REMAINING LOT AREA	572,000	52%

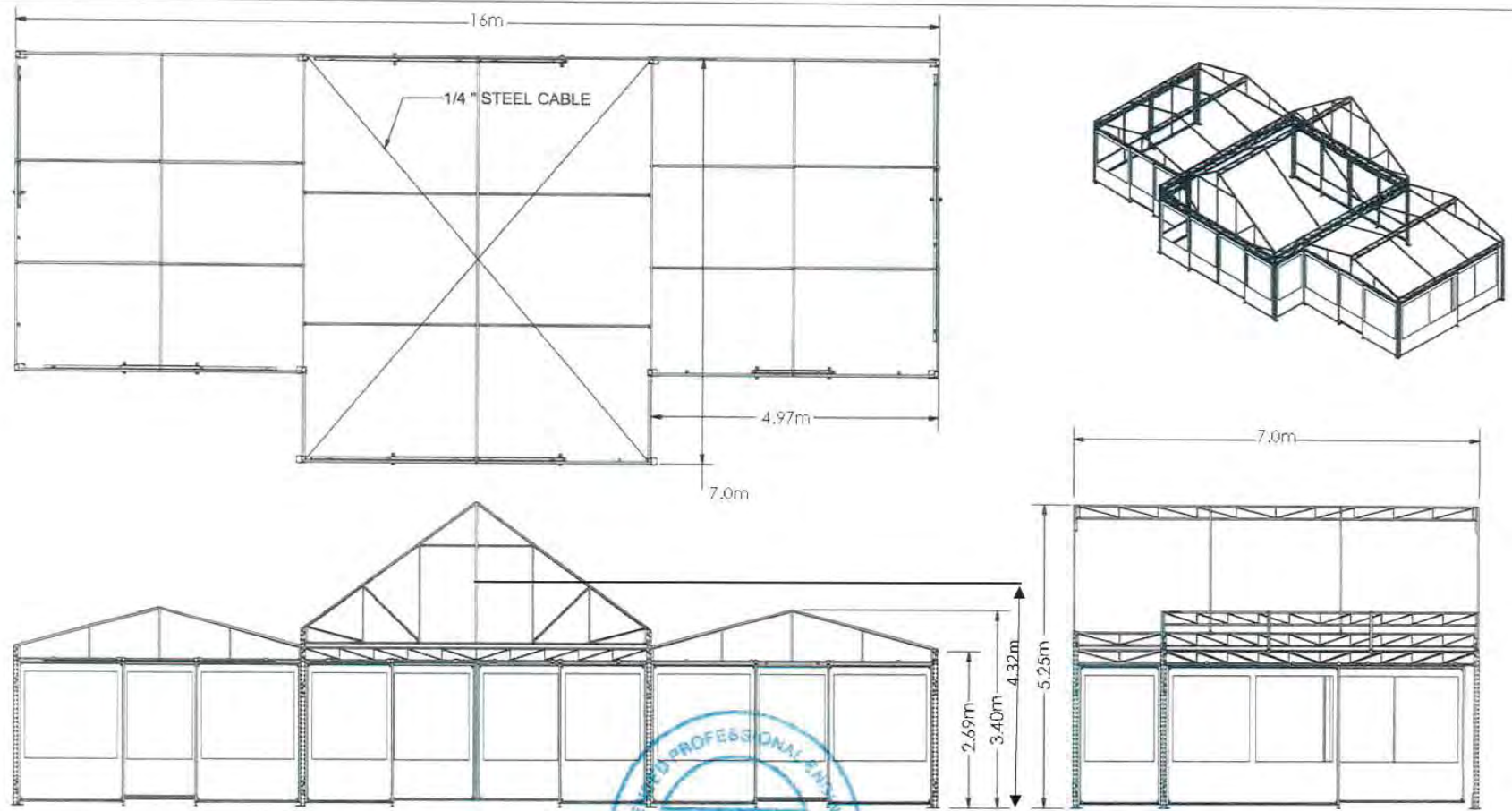
NO.	REVISION	DATE	BY
1	ISSUED FOR BULK PLAN SUBMITTAL	NOV 11/11	MC
2	ISSUED FOR BULK VARIANCE	JAN 14/11	MC
3	ISSUED FOR 100 SITE PLAN	MAR 15/11	JG
4	ISSUED FOR 100 SITE PLAN	MAR 15/11	JG

TURNER FLEISCHER Architects Inc.
 100 BAYVIEW AVE SUITE 100
 AURORA, ONTARIO L4R 1A9
 TEL: (905) 709-1111 FAX: (905) 709-1112

ZELINKA PRIZMO LTD
 A Professional Flooring Practitioner

DATE: MARCH 2008 SCALE: 1/16"=1'-0"





- Notes:
1. Not designed for snow load. Design wind pressure 0.55 kPa.
 2. Structural framing fabricated with galvanized steel.
 3. Vinyl cover is a fire resistant material conforming to NFPA-701 and/or ULC S109 as certified.
 4. Fasten posts to the ground with 12" long steel spikes as detail - 2 spikes at each of 10 main columns and 2 spikes at each of 12 secondary anchor points on outer walls.
 5. For truss-post connect details and and post anchorage details, refer to accompanying drawings ACPS05-1462.
 6. For shade structures, see ACPS05-1462.

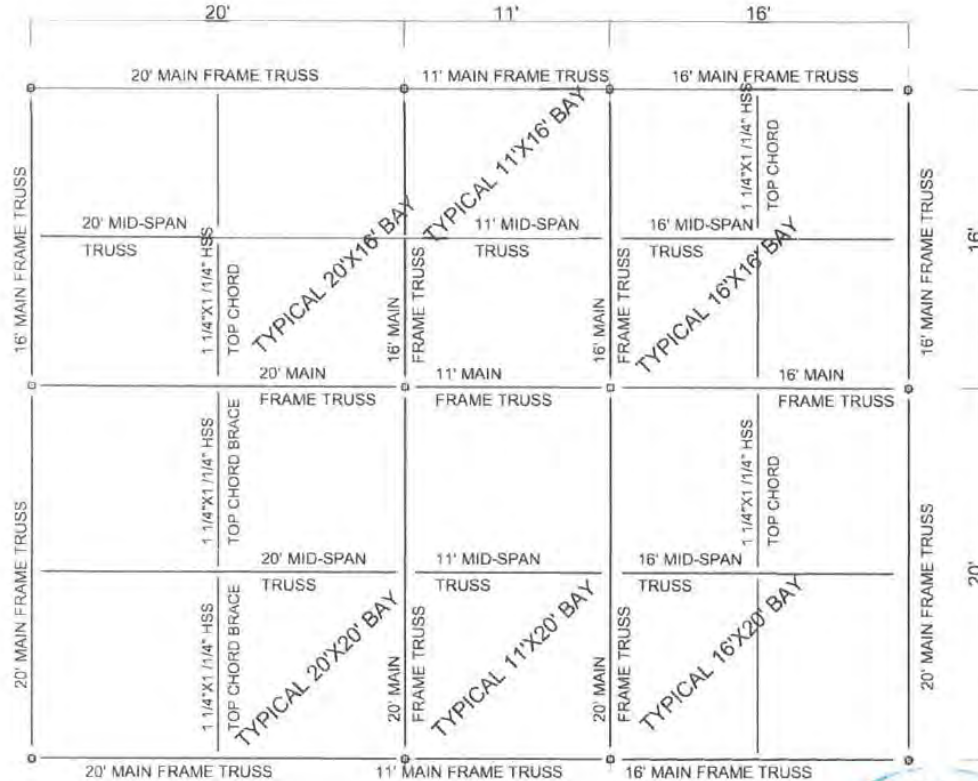
LICENSÉ PROFESSIONNEL (INGÉNIEUR)
 H. L. L. H.
 15000/3012
 Jan 11, 2012

Seasonal Garden Centres for Loblaws 2012.

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DRAWN Riese	1/23/2007	All Cover Portable Systems 4664 Ontario St. Beamsville Ont.	
CHECKED RIESE		TITLE 3 PEAK TENT	
MFG RIESE		SIZE 11 x 17	DWG NO ACPS05-1370
ENG RIESE			REV
APPROVED			
PART NO ST5223-3		DO NOT SCALE DWG	SHEET 1 OF 1



SHADE STRUCTURE GENERAL LAYOUT

SHADE STRUCTURE UNITS

SH2020	20'X20'	
SH1620	16'X20'	
SH1616	16'X16'	
SH2011	20'X11'	
SH1611	16'X11'	
SH1643	16'X43'	SH1616; SH1616; SH1611
CY2043	20'X43'	SH2016; SH2016; SH2011
SH1647	16'X47'	SH1620; SH1616; SH1611

NOTES:

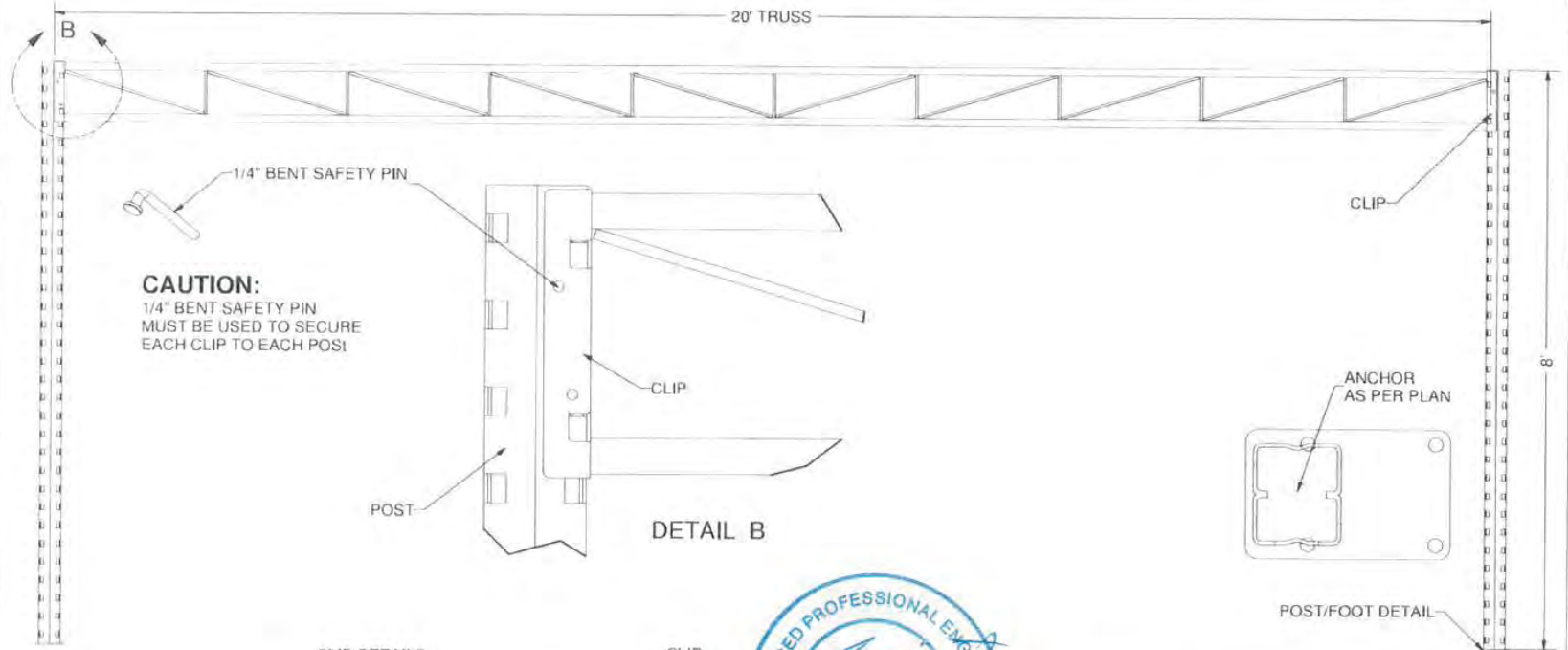
1. The layout shown is to be used with ACPS05-1462, ACPS SHADE STRUCTURES. For elevation views and general design data, refer to sheet 1, ACPS05-1462.
2. The layout shown is not intended to represent an actual installation. This layout shows typical bay size that can be created with the available joist lengths. The basic structural units are listed in the table in this drawing. Specific site plan can be obtained by joining shade units. As examples, SH1643 can be obtained by joining two SH1616 and one SH1611 in a row and SH3243 can be obtained by joining two SH1643 side by side.
3. The required mid-span members must be installed to provide lateral bracing for 16' and 20' trusses.
4. For the shown layout, trusses are designed for supporting structural selfweight plus a maximum 250# point at mid-span (or equivalent uniform distributed load.)



Loblaws Seasonal Garden Centre, season 2020.

DRAWN Riese,heemskerker	1/24/2007	OutFront Portable Solutions 4664 Ontario St. Beamsville Ont.	
CHECKED RIESE		TITLE	
MFG RIESE		Shade Structure Plan 0, General Layout	
ENG. APPROVED HONGTAO	SIZE 8.5 X 11	DWG NO ACPS05-1462P0	REV 0
PART NO		DO NOT SCALE DWG	SHEET 1 OF 1

TRUSS/POST ASSEMBLY



CAUTION:
 1/4" BENT SAFETY PIN
 MUST BE USED TO SECURE
 EACH CLIP TO EACH POST!



MATERIAL GALVANIZED STEEL

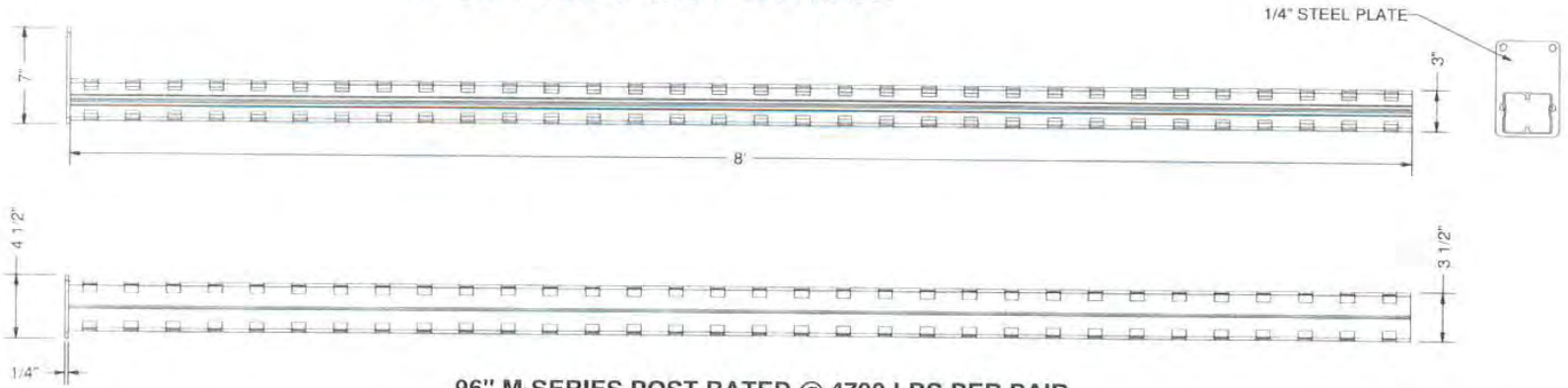
1000 LBS SHEAR CAPACITY PER CLIP

Seasonal Garden Centres for Loblaws 2020

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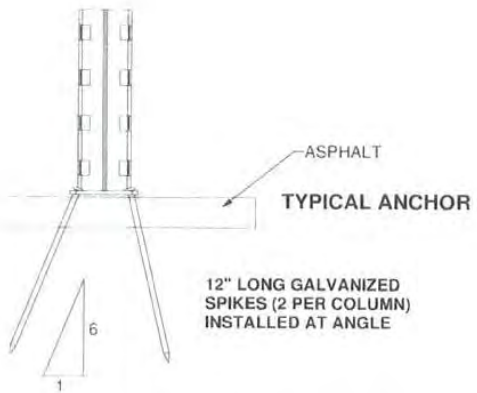
DRAWN	H. LIU	15/01/2007	Out Front Portable Solutions	
CHECKED	RIESE		4664 Ontario St. Beamsville Ont.	
MFG	RIESE		TITLE	
ENG. APPROVED	RIESE		ACPS SHADE STRUCTURES	
PART NO	SHADE STRUCTURE ENG	DO NOT SCALE DWG	DWG NO	ACPS05-1462
			SIZE	11 x 17
			REV	c
			SHEET	2 OF 4

M-SERIES POST DETAIL



96" M-SERIES POST RATED @ 4700 LBS PER PAIR

MATERIAL GALVANIZED STEEL

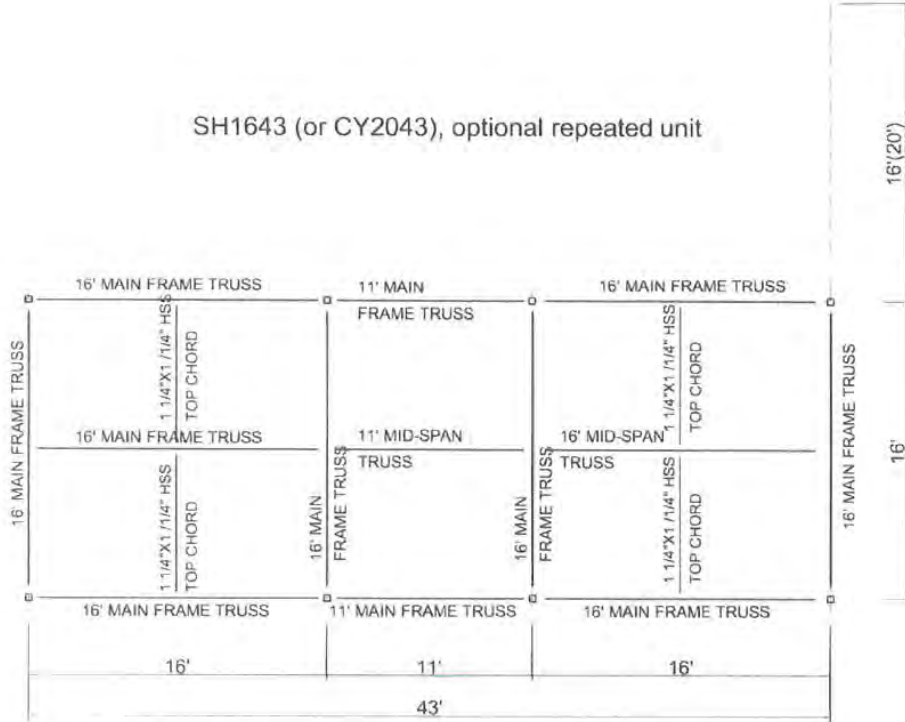


Seasonal Garden Centres for Loblaws 2020.

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DRAWN Ruse.hiemskerk	15/01/2007	Out Front Portable Solutions 4664 Ontario St. Beamsville Ont.	
CHECKED	RIESE	TITLE ACPS SHADE STRUCTURES	
MFG	RIESE	SIZE 11 x 17	DWG NO ACPS05-1462
ENG.	RIESE		REV u
APPROVED		PART NO	SHADE STRUCTURE ENG
		DO NOT SCALE DWG	SHEET 4 OF 4

SH1643 (or CY2043), optional repeated unit



Shade Structure Unit (SH1643)

NOTES:

1. The layout shown is to be used with ACPS05-1462, ACPS SHADE STRUCTURES. For elevation views and general design data, refer to sheet 1, ACPS05-1462.
2. The layout shows a typical shade structure unit SH1643 (16'x43') and is not intended to represent an actual installation. To obtain the required site plan, additional structural module may be added to form repeated units with neighbouring bays sharing common posts and trusses, as indicated by the dashed lines as an example. A SH3243 is formed by joining two SH1643 units side by side.
3. The required mid-span members must be installed to provide lateral bracing for 16' and 20' trusses.
4. For the shown unit, trusses are designed for supporting structural selfweight plus a maximum 250# point load at mid-span (or equivalent uniform distributed load.)



Loblaws seasonal garden centre, season 2020.

DRAWN Riese.heemskerck	1/24/2007	OutFront Portable Solutions 4664 Ontario St. Beamsville Ont.	
CHECKED RIESE		TITLE	
MFG RIESE		Shade Structure Plan 1, SH1643 UNITS	
ENG. HONGTAO	SIZE 8.5 X 11	DWG NO ACPS05-1462P1	REV 0
PART NO		DO NOT SCALE DWG	SHEET 1 OF 1

Portable Security Fencing



Secures outdoor shopping areas and storage compounds



Features:

- Fence panels, hardware and accessories are hot dipped galvanized to last for years
- Sleek design, steel support base provides necessary stability for all surfaces
- Fence panels are 7.5 feet high and made of strong, 6 gauge, welded wire mesh and 16 gauge, square tubing
- Unique design gives fenced compound distinct and attractive appearance while offering security
- Ideal for seasonal garden centres, construction sites, outdoor special events, crowd control, etc.



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**Town of Aurora
Corporate Services**

Memorandum

Date: April 22, 2020
To: **Katherine Bibby, Planning and Development Services**
From: Mat Zawada, Accessibility Advisor
Re: Accessibility Advisory Committee (AAC) Input and Comments for Site Plan Application SP-2020-02 (Submission #1)

The Accessibility Advisor has made comments on behalf of the Accessibility Advisory Committee.

The comments are as follows:

- Barrier-Free dimension requirements to meet that of the Town of Aurora Zoning By-Law. Type A parking should have a width of 3.65 metres, while Type B parking should have a width of 2.7 metres.
- Please note that the minimum number of accessible parking spaces is 7 parking spaces for the use of persons with disabilities, which meets the requirements of the AODA Design of Public Spaces O.Reg 191/11, section 80.36 (4).
- Consideration for underground barrier-free parking spots to be distributed on each floor to be closest to the elevator to create the shortest possible accessible route to the barrier-free entrances.
- Consideration for washroom on main level that is served by the barrier-free path of travel and available to the public to be a universal washroom.
- Consideration to provide a corresponding curb depression to the access aisle
- Consideration for a rest/seating area to be provided
- Consideration for automatic door openers for all public access locations, including proper timed door delays.
- Installation of proper tactile indicators at the proposed staircase.
- Consideration for all customer services counters to have an allocated accessibility spot.

- Consideration for all exterior paths of travel and outdoor amenities to have lighting at a minimum of 5 lux.
- Consideration for the allocated outdoor space to have a minimum of 20% of its tables be accessible if used as an outdoor eating area.
- Ensure the exterior path (sidewalk) must have a minimum clear width of 1,500 mm

Please also note that there are new Design of Public Spaces (Built Environment) Standards enacted from the Province of Ontario, under the Accessibility for Ontarians with Disabilities Act and revisions to the Ontario Building Code to help standardize and encourage barrier free access.

On behalf of the Accessibility Advisory Committee, thank you for the opportunity to comment.

Mat Zawada
Accessibility Advisor – Ext 4212



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Town of Aurora
Corporate Services

Memorandum

Date: March 19, 2020
To: Matthew Peverini, Planning and Development Services
From: Mat Zawada, Accessibility Advisor
Re: Accessibility Advisory Committee (AAC) Input and Comments for Site Plan Application SPM-2020-01 (Submission #1)

The Accessibility Advisor has made comments on behalf of the Accessibility Advisory Committee.

The comments are as follows:

- Barrier-Free dimension requirements to meet that of the Town of Aurora Zoning By-Law. Type A parking should have a width of 3.65 metres, while Type B parking should have a width of 2.7 metres.
- Ensure that barrier-free parking spaces are designated with vertical sign and pavement markings with the International Symbol of Accessibility.
- Consideration for automatic door openers for all public access locations, including proper timed door delays.
- The exterior path (sidewalk) around the whole building must have a minimum clear width of 1,500 mm.
- The exterior paths of travel should have a maximum running slope and cross slope of 1:20.
- All ramps provided should have a maximum running slope of no more than 1:15.
- Tactile indicators to be installed at stairways and ramps.

Please also note that there are new Design of Public Spaces (Built Environment) Standards enacted from the Province of Ontario, under the Accessibility for Ontarians with Disabilities Act and revisions to the Ontario Building Code to help standardize and encourage barrier free access.

AAC Comments for SPM-2020-01

Page 2 of 2

On behalf of the Accessibility Advisory Committee, thank you for the opportunity to comment.

Mat Zawada
Accessibility Advisor – Ext 4212



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Aurora, ON L4G 6J1
Phone: 905-727-3123 Ext. 4350
Email: mpeverini@aurora.ca
www.aurora.ca

Planning and Development Services

INTERNAL MEMORANDUM

DATE: March 9, 2020

TO: B. Butler, Planning and Development Services
S. Sample, Planning and Development Services
G. Greidanus, Operational Services
J. Van Scheyndel, Corporate Services
J. McDonald, Central York Fire Services
M. Zawada, Accessibility Advisory Committee
M. Bat, Engineering and Capital Delivery

CC: Mayor and Members of Council
D. Waters, Director of Planning and Development Services
Council Secretariat, Corporate Services

FROM: Matthew Peverini, Planning and Development Services

Re: **Application for Minor Site Plan Approval**
2283986 Ontario Limited (Carom Management Inc.)
1540 Wellington Street East
Whitchurch CON 3, PT LOT 21, RP 65R-34341 Parts 1, 3 and 4
Related File Number: SP-2013-02
File Number: SPM-2020-01

A Minor Site Plan Application has been submitted to the Planning and Development Services department for review. The Applicant is proposing an Amendment to the existing Approved Site Plan, which allowed for the development of a Gasoline Bar with a Car Wash and a Convenience Store, "Mr. Lube" Service Centre and a "Commercial Building" at the above noted address. All of the buildings noted above has been constructed and are occupied, except for the "Commercial Building", which has not been constructed. Only the architectural "look" of the building, and parking scheme for the Commercial Building has been altered. Please find enclosed copies of the materials submitted in conjunction with the subject Application:

I would appreciate receiving your comments by **March 30, 2020**. Should you have any questions regarding the above noted proposal, please feel free to contact me.

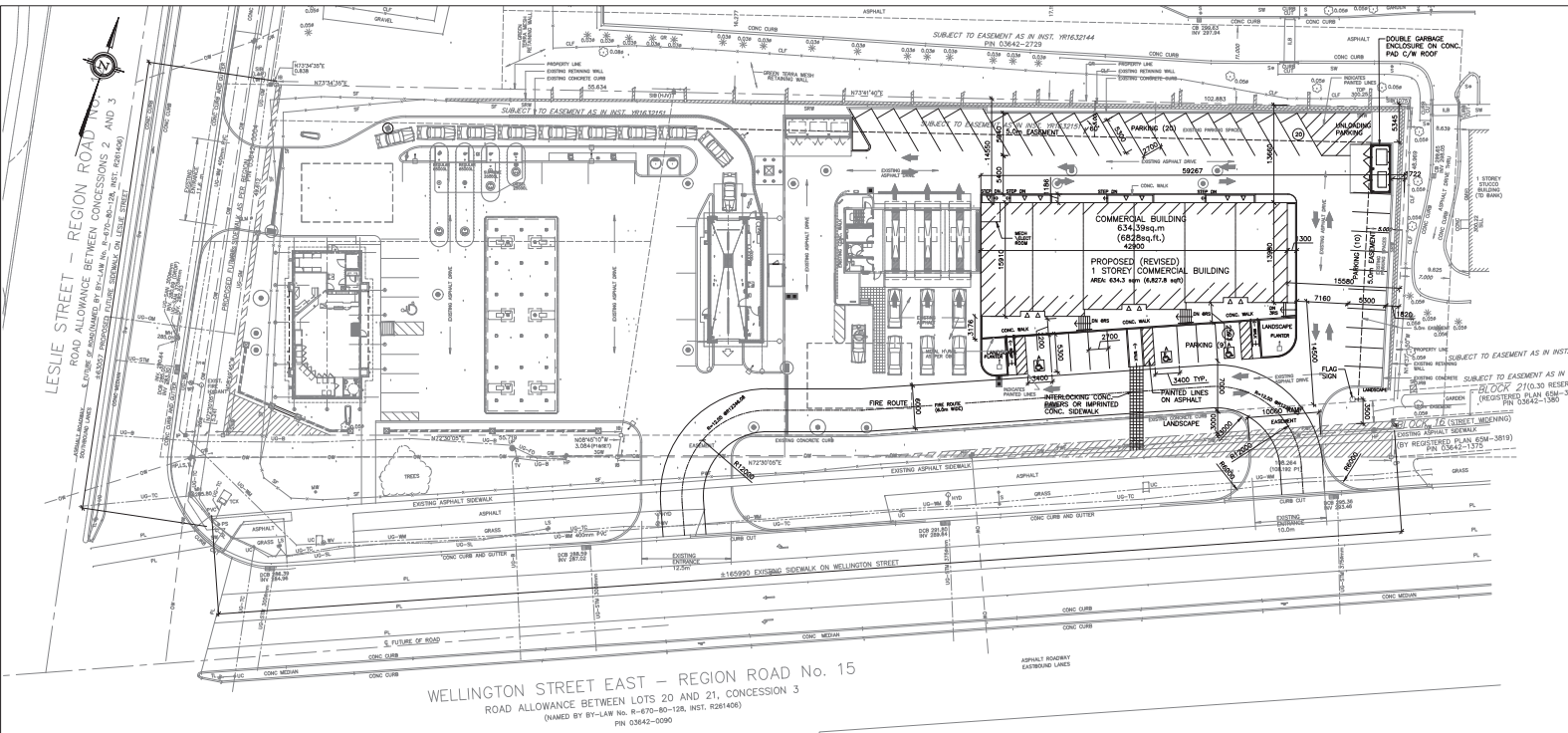
Attach.



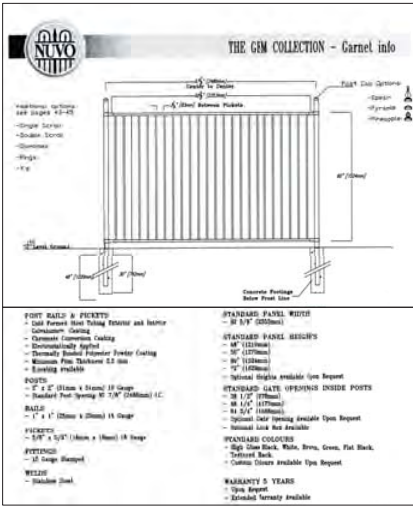
KEY PLAN
 PART OF LOT 21,
 CONCESSION 3
 (GEOGRAPHIC TOWNSHIP OF WHITCHURCH)
 TOWN OF AURORA
 REGIONAL MUNICIPALITY OF YORK

SITE STATISTICS:

TOTAL LOT AREA	= 7,800 sq.m (1.93 acre)
C-STORE	= 199.3 sq.m
CAR WASH	= 132.4 sq.m
MR. LUBE	= 173.49 sq.m
COMMERCIAL	= 634.29 sq.m
TOTAL BUILDING	= 1,139.8 sq.m (14.6%) (of lot)
CANOPY	= 279.0 sq.m
TOTAL LANDSCAPE	= 1239.0 sq.m (15.9%) (of lot)
PAVEMENT/CONCRETE	= 5421.2 sq.m
TOTAL PARKING REQUIRED @ 6/100sq/m	= 57 (INCLUDING 4 H/C, 1 UNLOADING)
TOTAL PARKING PROVIDED @ 6/100sq/m	= 57 (INCLUDING 4 H/C, 2 VACUJM & 1 UNLOADING)
STAGE PARKING	= 28

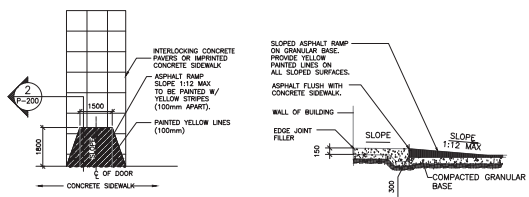


1 GENERAL SITE PLAN
 SCALE: 1:300



1 BULLDOG HOME SERVICES (ONTARIO) LTD. 1070 GERRARD ST. EAST, UNIT 1010, SCARBOROUGH, ONTARIO M1B 4W1
 OFFICE: (416) 887-1888 • FAX: (416) 887-8958 • TOLL FREE: 1-877-333-6144
 www.bulldoghome.com (Email: sales@bulldoghome.com)

Zoning Standard	Existing Zone Requirement	Proposed Zone Requirement	Provided on Site Plan
Zone	RR / C3-1	C3-XX / C3-1	
Lot Frontage	40m (Gas Bar)	same	49m
Lot Area	1,400 sq.m	same	7,800 sq.m
Total GFA	N/A	N/A	1141.08 sq.m
Front Yard Setback	10 m	5 m	5.7 m
Rear Yard Setback	7.5 m	same	15.4 m
Int. Side Yard Setback	3 m	same	13.66 m
Ext. Side Yard Setback	10 m	5 m (3m Canopy)	5 m (3m Canopy)
Lot Coverage	35%	same	18% (incl. Canopy)
Building Height (maximum)	10.0 m	same	< 9.14 m
No. of Stories (maximum)	N/A	N/A	1
Landscape Strip	1.5 m	same	2.0 m
Parking	6.1 Total (86/100 GFA)	8 for C3-XX zone / same for C3-1 zone	58 (57 minimum)
H/C Parking (spaces)	2 (with 76-150)	same	4
Loading Spaces	1 (@1/300-1000 GFA)	Gas Bar N/A / 1 for C3-1 zone	1
Adjacent Zones	N/E = BP-5, S = C3-12/RI, W = C3-1		



1 ACCESS FREE RAMP - PLAN
 SCALE: 1:100

2 ACCESS FREE RAMP - SECTION
 SCALE: 1:100



0	22 JUN '20	ISSUED FOR SPA AMENDMENT	SK	JK
No.	Date	Description	Drawn	Checked



J + B ENGINEERING INC.
 11555 LESLIE ST. E. UNIT 1010, SCARBOROUGH, ONTARIO M1B 4W1
 (416) 291-3111 • (416) 291-3112
 www.jandbeng.com • info@jandbeng.com

CAROM
 CARBON MANAGEMENT SOLUTIONS

Project: **SITE PLAN**
 15555 LESLIE ST. E. & 1540 WELLINGTON ST. E. AURORA, ON

File No:	200102	Date:	22 JUN '20
Drawn By:	SK	Scale:	1:300
Checked By:	JK	Sheet	1 of 1
Drawing No:	P-200	Plotting Scale:	1:1

Dep. File: 200102-P-200
 Drawing Size: D



100 John West Way
Box 1000
Aurora, ON L4G 6J1
Phone: 905-727-3123 Ext. 4347
Email: kbibby@aurora.ca
www.aurora.ca

Planning and Development Services

INTERNAL MEMORANDUM

DATE: May 14, 2020

TO: B. Butler, Planning and Development Services
S. Sample, Zoning Review, Planning and Development Services
M. Bat, Traffic/Transportation Analyst
G. Greidanus, Operational Services (Parks)
J. Van Scheyndel, Corporate Services
J. McDonald, Central York Fire Services
M. Zawada, Accessibility Advisory Committee

CC: Mayor and Members of Council
D. Waters, Director of Planning and Development Services
Council Secretariat, Corporate Services

FROM: Katherine Bibby, Planning and Development Services

Re: Site Plan Application
5011097 Ontario Inc.
150 Addison Hall Circle
Block 12, Plan 65M-4650
File Number: SP-2020-03

A Site Plan Application has been submitted to the Planning and Development Services department for review. The Applicant is proposing a new development on Block 12 of the Addison Hall Business Park, municipally known as 150 Addison Hall Circle. The Applicant is proposing a one-storey industrial building, with a total GFA of 3,440.40 square meters (37,031 square feet).

Please find enclosed digital copies of the submitted materials in conjunction with the subject application.

I would appreciate receiving your comments by **June 4, 2020**.

Should you have any questions regarding the above noted proposal, please feel free to contact me.

Attach.

OBC 2012 MATRIX FOR BLOCK 12										
Item	ONTARIO BUILDING CODE DATA PART 3	OBC REFERENCE								
1	Project Description: <input type="checkbox"/> New <input type="checkbox"/> Part 11 <input type="checkbox"/> Part 3 <input type="checkbox"/> Part 9 <input type="checkbox"/> Change of Use <input type="checkbox"/> Addition <input type="checkbox"/> Alteration 11.1 to 11.4	3.1.2.1(1)	1.1.2	1.1.2 9.10.1.3						
2	Major Occupancy(s) GROUP "F" DIVISION 2	3.1.2.1(1)		9.10.2						
3	Building Area(s) Existing: 0 New: 2,292.7 Total: 2,292.7	1.4.1.2		1.4.1.2						
4	Ground Area Existing: 0 New: 3,452.4 Total: 3,452.4	1.4.1.2		1.4.1.2						
5	Number of Storeys Above Grade: 0 Below Grade: 0	3.2.1.1 & 1.4.1.2		1.1.2.4						
6	Number of Streets / Access Routes 2 (TWO)	3.2.2.10 & 3.2.5		9.10.20						
7	Building Classification 3.2.2.72	3.2.2.20-83		9.10.4						
8	Sprinkler System Proposed <input type="checkbox"/> entire building <input type="checkbox"/> basement only <input type="checkbox"/> in floor of rating <input type="checkbox"/> not required	3.2.2.20-83 3.2.1.5 3.2.2.17		9.10.8						
9	Stairslope required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9		N/A						
10	Fire Alarm required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.4		9.10.18.2						
11	Water Service / Supply is Adequate <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.5.7		N/A						
12	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.8		N/A						
13	Permitted Construction <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both Actual Construction <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both	3.2.2.20-83		9.10.8						
14	Mezzanine(s) Area (m ²) 649.7	3.2.1.1 (9-38)		9.10.4.1						
15	Total Occupancy Load <input type="checkbox"/> m ² / person <input type="checkbox"/> Design of building Basement: Occupancy: N/A Load: N/A Persons: N/A 1st Floor: Occupancy: F-2 Load: 50 Persons: Persons Mezzanine: Occupancy: F-2 Load: 50 Persons: Persons 3rd Floor: Occupancy: N/A Load: N/A Persons: Persons	3.1.17		9.9.1.3						
16	Barrier-free Design <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)	3.8		9.5.2						
17	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.19		9.10.1.3(4)						
18	Required Historical Authorities Fire: FRR (Hours) Resistance: Floors: 0 Hours Roof: 0 Hours Mezzanine: 0 Hours FRR of Supporting Members: 0 Hours Floors: 0 Hours Roof: 0 Hours Mezzanine: 0 Hours Listed Design "N" or (S2-2) Listed Design "N" or (S2-2) NON-COMBUSTIBLE SPRINKLED NON-COMBUSTIBLE SPRINKLED NON-COMBUSTIBLE SPRINKLED	3.2.2.20-89 & 3.2.1.4		9.10.8 9.10.9						
19	Spacer Separation - Construction of Exterior Walls	3.2.3		9.10.14						
Wall Area (m ²)	EBF (m ²)	m	H/L	Permitted Max. % of Openings	% of Openings	FRR (Hours)	Listed Design or Description	Conts. Const.	Conts. Non-Conts.	Conts. Const.
North	>200	>15	N/A	100	N/A	0	N/A			✓
South	>200	>15	N/A	100	N/A	0	N/A			✓
East	>200	>15	N/A	100	N/A	0	N/A			✓
West	>200	>15	N/A	100	N/A	0	N/A			✓

SITE STATISTICS:

SITE AREA: 9,612.62 SM (2.4 AC)

GROUND FLOOR AREA: 2,790.7 SM (30,038 SF)

MEZZANINE AREA: 649.7 SM (6,993 SF)

GFA: 3,440.4 SM (37,031 SF)

COVERAGE: 29.03%

F.S.I.: 0.358

LANDSCAPING COVERAGE: 22.7% (2,180 SM)

PARKING REQUIRED:

INDUSTRIAL USES WITHIN BUSINESS PARK:
1st 3,000sm @ 1/100sm=40 SPACES
NEXT 440.4sm @ 1/100sm=4 SPACES

TOTAL: 64 SPACES

BARRIER-FREE 4% OF 64 = 3 SPACES

TOTAL REQUIRED: 67 SPACES

PARKING PROVIDED: 65 SPACES

BARRIER-FREE PROVIDED: 3 SPACES

TOTAL PROVIDED: 68 SPACES

BICYCLE PARKING REQUIRED:

EMPLOYMENT USES 2+0.25/1000sm of GFA=3 SPACES

BICYCLE PARKING PROVIDED: 3 SPACES

LOADING REQUIRED: 3 SPACES

LOADING PROVIDED: 3 SPACES

LEGAL DESCRIPTION:

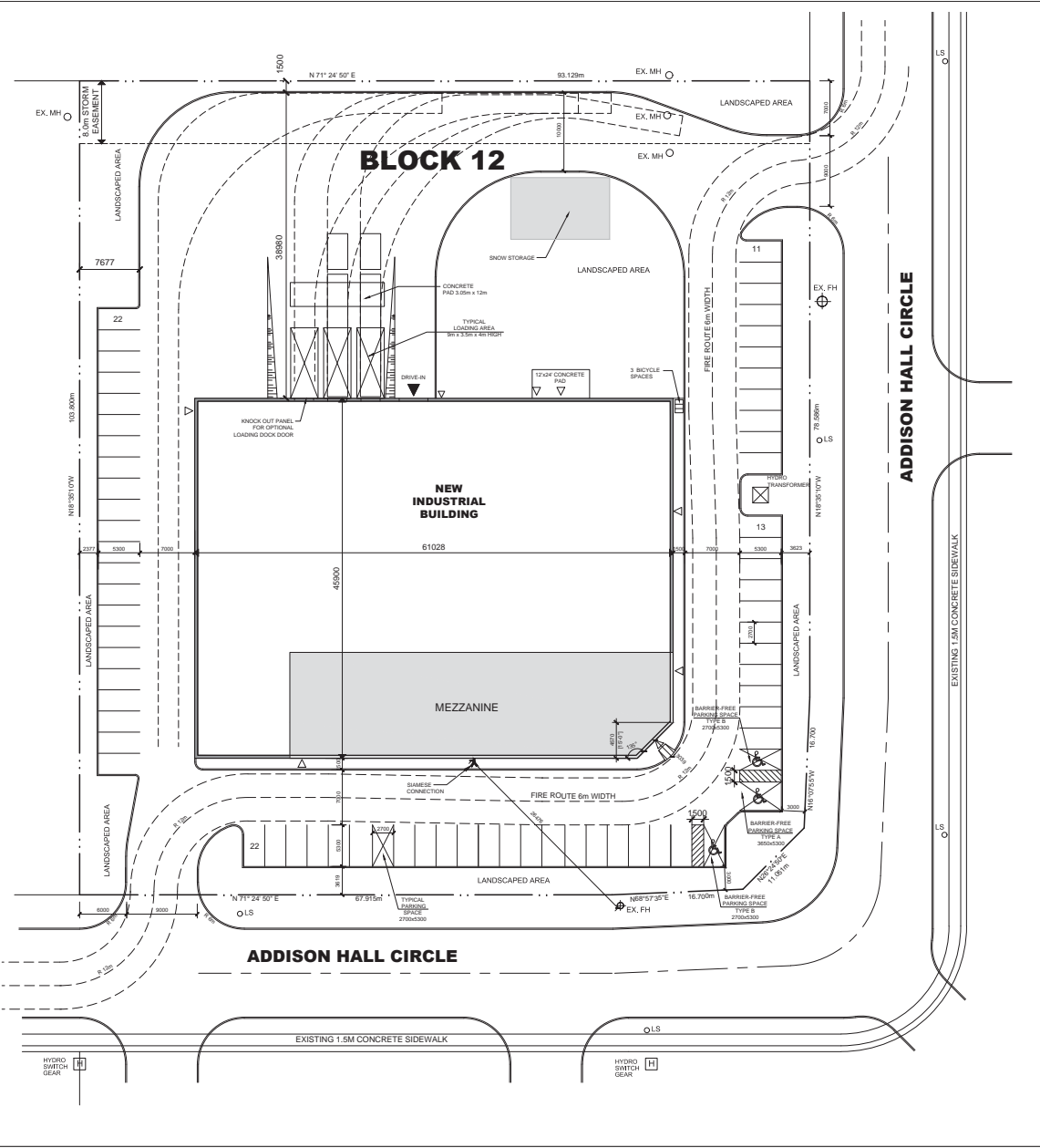
BLOCK 12
REGISTERED PLAN 65M-4650
TOWN OF AURORA
REGIONAL MUNICIPALITY OF YORK

LEGEND:

- CONCRETE CURB
- ▲ HC RAMP
- ◀ MAN DOOR LOCATIONS
- ▲ DRIVE-IN OVERHEAD DOOR
- ⊕ FH FIRE HYDRANT
- LS LIGHT STANDARD
- ⊞ HYDRO SWITCH GEAR
- ⊞ TRANSFORMER
- LS LANDSCAPED AREA
- ▨ PAINTED LINES

NOTE:

GARBAGE SHALL BE STORED INTERNAL TO THE BUILDING



PROJECT NORTH TRUE NORTH

NO.	ISSUED	BY	DATE
1	ISSUED FOR SPA	I.P.	03.06.20

KEY PLAN

INDUSTRIAL BUILDING ADDISON HALL CIRCLE BLOCK 12
TOWN OF AURORA, ONTARIO

SITE PLAN

Gottardo
277 PENNY LANA AVENUE
CONCORD, ONTARIO, L4K 5R9
TEL: (905) 761-7707 FAX: (905) 761-6588

GLUCK PARTNERSHIP ARCHITECTS INC.
116 DUNCAN MILL ROAD, SUITE 5
TORONTO, ONTARIO, M8B 3A2
TEL: 416-468-0201

DESIGN: JP
CHECKED: TG
SCALE: 1:250
SHEET: 21 JANUARY 2020
PROJECT NO: 2009
DRAWN BY: THOMAS GLUCK LICENCE 3919

A-1.0

Not Invoiced Yet

Accessibility Advisory Committee Operational Budget

Budget	\$25,000
Used	\$14,743.70
Remaining	\$10,256

Operational Accessibility Projects

	Name	Amount
1	Accessible Lifejacket	\$550.00
2	Univox Testing Device	\$259.90
3	Accessibility Trailer	\$2,000.00
4	Sensory Tent Project	\$3,708.75
5	AFLC Door Operators	\$5,000.00
6	Wall signage for Hearing Loops	
7	Counter singange for Hearing Loops	\$225.05
8	AFLC Spa Railing	
9	Seniors Centre Without Walls	\$3,000.00